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**Application For:**

PUD Rezoning Request

**For**

**Mountain Brook Senior Living**

A Planned Unit Development

**JULY 12 2024**

**Applicant:**

MTB Office Park, LLC  
2900 Cahaba Rd  
Mountain Brook, AL 35223

**Applicant:**



Dominion Senior Living of Birmingham, LLC  
1200 Corporate Drive | Suite 225  
Birmingham, AL 35242

**Prepared by:**



730 Peachtree St NE, Suite 680  
Atlanta, GA 30308  
Telephone: 678 590 3200



## Planning Commission Application PART I

### Project Data

Address of Subject Property 2900 Cahaba Road, Mountain Brook, AL 35233

existing Local Business District

Zoning Classification proposed - PUD

Name of Property Owner(s) MTB Office Park, LLC - Ladd Tucker

Phone Number 205-410-6806 Email ladd@laddmgt.com

Name of Representative Agent (if applicable)

Dominion Senior Living of Birmingham, LLC - Withers Poellnitz

Phone Number 205-776-6086 Email wpoellnitz@dpllc.com

Name of Engineer or Surveyor Live Oak Engineering - Ben Watson

Phone Number 205-492-3643 Email ben@liveoakengineering.com

Property owner or representative agent must be present at hearing

### Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.

**Project Team and Contact Information**

<p>Developer/Buyer:</p> 	<p><b>Dominion Senior Living of Birmingham, LLC</b>                  1200 Corporate Drive   Suite 225                  Birmingham, AL 35242                  205.776.6086                  R. Withers Poellnitz  <a href="mailto:wpoellnitz@dpllc.com">wpoellnitz@dpllc.com</a></p>
<p>Designer:</p> 	<p><b>Nequette Architecture and Design</b>                  2227 2nd Ave N                  Birmingham, AL 35242                  205.329.7001                  Louis Nequette  <a href="mailto:louis@nequette.com">louis@nequette.com</a></p>
<p>Civil Engineer:</p> 	<p><b>Live Oak Engineering</b>                  2509 7th Ave S                  Birmingham, AL 35242                  205.492.3643                  Louis Nequette  <a href="mailto:ben@liveoakengineering.com">ben@liveoakengineering.com</a></p>
<p>Surveyor:</p> 	<p><b>Ray and Gilliland, P.C.</b>                  122 North Calhoun St                  Sylacauga AL, 35150                  256.245.3243</p>
<p>Architect:</p> 	<p><b>Rosemann and Associates</b>                  730 Peachtree St NE   Suite 680                  Atlanta, GA 30308                  816-392-0251                  Nathan Rosemann  <a href="mailto:nrosemann@rosemann.com">nrosemann@rosemann.com</a></p>
<p>Landscape Architect.</p> 	<p><b>Ironwood Design Group</b>                  426 S Atlanta St                  Roswell, GA 30075                  404.590.1880                  Sam Sampson  <a href="mailto:sam.sampson@ironwooddg.com">sam.sampson@ironwooddg.com</a></p>

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City Council Application Project Team

Project Team and Contact Information

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July 12, 2024

Dominion Senior Living of Birmingham, LLC  
2900 Cahaba Road  
Mountain Brook, AL 35223

### **Project Narrative**

The proposed project is a luxury senior living community consisting of 162 total units on approximately 4.9 acres. A “senior living community” is a general term for the different types of housing providing varying degrees of care for seniors 55 years of age and older. Based on Dominion Partners’ history, however, the average age of new residents is approximately 84 years old.

Senior living communities are designed to suit a variety of lifestyles and provide a range of assistance including independent living, assisted living, and specialty care assisted living, commonly known as “memory care.” In order to provide a full continuum of care and a true “age in place” community, the proposed project will offer 98 independent living (IL) units, 32 assisted living (AL) units, and 32 memory care (MC) units. All of the units will be for rent only and not for sale. Medicare and Medicaid do not provide rental assistance for any category of living in these types of communities. Instead, all of the residents use personal disposable income, applicable long term care insurance, or savings to make rental payments each month.

The purpose and intent of senior living is to enable seniors to maintain as much independence, individuality and autonomy as possible, provide them with support and assistance when they need it, and enhance their lifestyle, dignity and joy of life. One of the major benefits offered by luxury senior living communities is an active, socially engaging lifestyle. Engaging in social activities and group events while learning new skills enables seniors to bond with new friends while promoting physical and mental health. Residences available at the property will include three types:

**Independent Living (IL):** Independent living is specifically designed for more active, self-reliant seniors who desire a maintenance-free lifestyle and the social benefits of living in a community with other seniors. Although most of the seniors who live in an IL setting require little if any assistance or daily care, supportive services are available around the clock and provided in emergency situations. Unlike AL and MC units, IL units do not require a state license to operate.

**Assisted Living (AL):** Assisted living is offered to seniors who need help with one or more activities of daily living (ADLs) such as medication administration, meal preparation and dining, bathing, dressing, mobility, and toileting. State licensure from the Alabama Department of Public Health is required to provide AL services to appropriate residents and a licensed administrator, certified nurses, and trained staff provide care and assistance.

**Memory Care (MC):** Memory care is available to residents who require cognitive support due to dementia. The entire memory care residence and outdoor courtyard are secure and monitored to ensure resident safety. State licensure and a Certificate of Need (CON) are required for every memory care resident unit in the project.



### **Age in Place**

Following the age-in-place model, a resident could first move into one of the IL residences. Eventually the resident may require assistance with ADLs, so he or she could move into an AL residence. If cognitive assistance and support are required, the resident could move into one of the MC units. Should one spouse require additional care, the independent spouse will have the comfort and convenience of being nearby in the same community. Trained staff interact with all residents regularly and frequently, developing relationships and trust with them and their families. These relationships help make transitions within the community smoother, more natural, and less stressful for the resident and family.

### **Services and Amenities**

The services and amenities provided in these communities promote wellness, socialization, a superior quality of life, convenience, mental stimulation, spiritual expression, artistic exploration, and entertainment in senior-friendly surroundings. All residents are encouraged to use and participate in any of the amenities or services that are offered. Some of the services and amenities available to all residents that will be included in the proposed building include:

- 24-hour emergency response system with on-site monitoring and daily check in
- Access to prescribed on-site physical, occupational and speech therapy
- Licensed nurse on-site 24 hours a day, seven days a week for AL and MC
- Innovative lifestyle programming providing social, educational, fun and healthy activities, events and outings
- Scheduled transportation to area shopping and local appointments
- Medication assistance and management for AL and MC
- Luxuriously landscaped and well-appointed outdoor spaces with walking paths throughout
- Fitness center with indoor aerobic exercise pool
- Courtyards, village greens, and lawn games
- Patios or balconies in most IL apartments
- Luxury finishes and fixtures
- Weekly cleaning and laundry service
- White-linen upscale and laid-back casual dining experiences
- Salon/Barbershop offering hair styling, manicure and pedicure services
- Movie theater
- Large multi-purpose room for community events and speakers
- Arts and crafts studio
- Concierge service
- Garage parking under the building

Due to the varying levels of care and assistance required among the three categories of residents, it is operationally safer and more efficient to design the building with “wings” that cater to the specific needs of each resident in the least restrictive and most beneficial environment. This provides numerous advantages including but not limited to these:

# DOMINION

— P A R T N E R S —

- The MC wing and courtyard are secure and monitored to prohibit residents from wandering
- Care stations in the AL and MC wings are optimally located for close proximity to each unit and resident
- Resident drop-off areas are strategically located within sight and easy reach of staff in case the resident needs assistance getting from the car to the facility
- Dining venues are intentionally designed for each wing to provide comfortable and elegant meal experiences
- Outdoor courtyards and patios conducive to the needs of each resident type are situated at easily accessible locations
- In Dominion Partners' previous developments, the central area of the building is the hub of activity for the community at large, providing features, services and amenities for all residents to enjoy

## **Staffing**

Architecturally and operationally, senior living communities include a plethora of features that make them truly unique developments. The buildings must be designed and operated for a multitude of uses including residential, wellness, dining, hospitality, and even a little bit of country club. Due to the complexities of the overall design and operations of a luxury senior living community, the peak number of employees that will be on-site at one time is approximately 45 while the average number of employees at any given hour during the day is approximately 21. An employee breakroom is provided for all staff to eat their meals. A discounted meal plan is offered to staff who choose not to bring in their own meals. The staff can be broken into a handful of subgroups:

- Administration – Executive Director and Financial Services
- Marketing – Includes Director of Sales and Marketing and staff
- Resident Services – Resident Services Director, Lifestyle Director and assistants, Fitness Coordinator, Transportation, Concierge, Security Officer and other staff employees that help fill the residents' schedule with activities
- Healthcare – Nurses, Med-Techs, and Care Associates
- Dining – Cooks, Servers, and Kitchen Staff
- Environmental Services – Housekeepers and Engineers/Maintenance Techs

## **Emergency Vehicles**

Associates at senior living communities receive emergency training during orientation, annually, and as needed. An Emergency Policies and Procedures manual is prepared in anticipation of any emergency, and a step-by-step guide is followed. If an accident or illness does occur, the trained staff will evaluate whether emergency services should be called. At past projects, emergency vehicles typically pull into the IL drop-off, but the proposed plan will have a designated spot for emergency vehicles only in the rear of the building. Typically, the senior housing operator will establish a relationship and protocol with the local EMS that will allow the operator to tell the local EMS whether the lights and/or sirens should be active at arrival. This helps prevent unnecessary sirens from disturbing other residents and nearby neighbors if it can be avoided.

## Traffic

Skipper Consulting completed a new traffic study on the proposed project. The results showed that even though the existing building is only +/- 60% occupied, the proposed senior living community will still generate less traffic than the existing building at the AM, Midday, and PM peak hours. The traffic contemplated in the traffic study encompasses all traffic for the proposed development including residents, staff, guests, and any other vehicles that would enter the property. The results are illustrated in Table A below:

**Table A: Trip Generation for Subject Site**

162 Total Units (98 Independent Living, 32 Assisted Living, 32 Memory Care)		
	Estimates for Proposed 166-unit Senior Living Development	Actual Traffic Counts for Existing 60% Occupied Office Building
AM Peak hour	32	63
Midday Peak Hour	49	124
PM Peak Hour	42	57

## Parking

The project will have 170 total parking spaces – 116 will be located in a garage under the building and the remainder will be surface parking. In Dominion’s experience, this is sufficient to park all residents who drive, the entire staff, and any guests of the residents. The majority of staffing shifts change during non-peak hours at 6:00 - 7:00 am, 2:00 - 3:00 pm, and 10:00 - 11:00 pm. While the majority of the IL residents will drive or have a car, no AL or MC residents will have a car. All parking spaces and roads/drives inside the property boundary are intended to be used solely by the residents, guests of residents, and operational staff. No golf carts are intended to be allowed for resident use. All grounds, facilities and features will be maintained by the owner, operator, or third-party contract.

## Site Location

The location of the subject property is perfect for a senior living community. Convenient access to doctors’ offices and medical care is important to seniors and senior living communities, and with such easy access to Highway 280 there are multiple major hospitals within minutes of the site. With Mountain Brook Village adjacent to the site, residents will have many dining and shopping options just outside their front door.

Senior housing communities are some of the lowest impact real estate developments there are. Traffic studies show that these communities have a much lower traffic count when compared to other projects on the residential or commercial side. Due to the inherent nature and habits of the residents, there is





no appreciable noise impact on the community. Lighting on the property is understated and purposeful; residents keep early hours and prefer ground-focused, clear light that does not intrude into their homes or create undue glare upon approach or from within.

A senior living community is an asset to the city by providing an attractive, vibrant and gracious lifestyle for its own elderly residents to enjoy. In fact, over 60% of residents in Dominion Partners' past senior living projects came from within five miles of each respective facility. The remaining residents were mostly seniors from out of town that chose to move to be near their adult children. With no other senior housing facilities located in Mountain Brook city limits, this project could prove to attract even higher than 60% of its residents living within five miles.

Construction is projected to take approximately 24 months.

### **Architectural Narrative**

The proposed Senior housing project encompasses a total of 162 units designed to cater to the diverse needs of its residents. Comprising of 98 Independent Living units, 32 Assisted Living units, and 32 Memory Care units, the community aims to provide an upscale living experience. The architectural vision for this project is rooted in the idea of matching Mountain Brook's existing vernacular, resulting in a Tudor-inspired style. This choice not only pays homage to the local architecture but embodies a timeless and familiar aesthetic for the area.

The building will stand four to five stories in height with sloped shingle roofs, gables, and decorative banding for Tudor style elegance. The exterior will feature a blend of materials including double hung windows, fiber cement trim, stucco or fiber cement panels, and exterior modular brick. The shingled slope roofs will incorporate concealed mechanical wells to discreetly hide condensing units and other rooftop equipment. All of the IL units will offer private balconies, allowing residents to enjoy the outdoors and connect with the building's exterior amenities. The outdoor spaces are an essential part of the design, promoting a connection between the entry motor court and outdoor feature area butting up the descending topography.

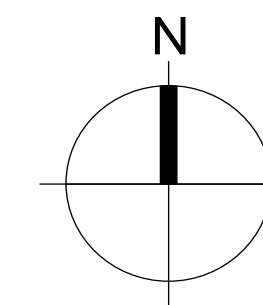
The site design embraces the existing topography while connecting walking paths, front entry, side entry, and outdoor patios. Exterior site elements will consist of street parking lots, motor court, foundation plantings, site lighting, and appropriate vegetation. Together these elements create a functional outdoor environment for the seniors living within this community. The proposed building provides residents with access to numerous amenities and support facilities. There will be multiple dining rooms, a bistro, an MC terrace, a fitness center, a library, activity rooms, common areas, an indoor pool, a salon, a commercial kitchen, and laundry facilities. The spaces are thought to encourage social interaction, physical wellbeing, and a sense of community.

Overall, this architectural design prioritizes the resident's comfort, security, and quality of life, while aiming to create a place that meets both the physical needs and sense of belonging that comes with a home.

# VICINITY MAP



**MOUNTAIN BROOK SENIOR LIVING**  
**2900 CAHABA RD**  
**MOUNTAIN BROOK, AL 35223**



PRINTS ISSUED  
07/12/24 PLANNED UNIT DEVELOPMENT  
REVISIONS:

**DOMINION**  
PARTNERS

**rosemann & ASSOCIATES P.C.**  
ARCHITECTURE  
INTERIOR DESIGN  
ENGINEERING  
PLANNING  
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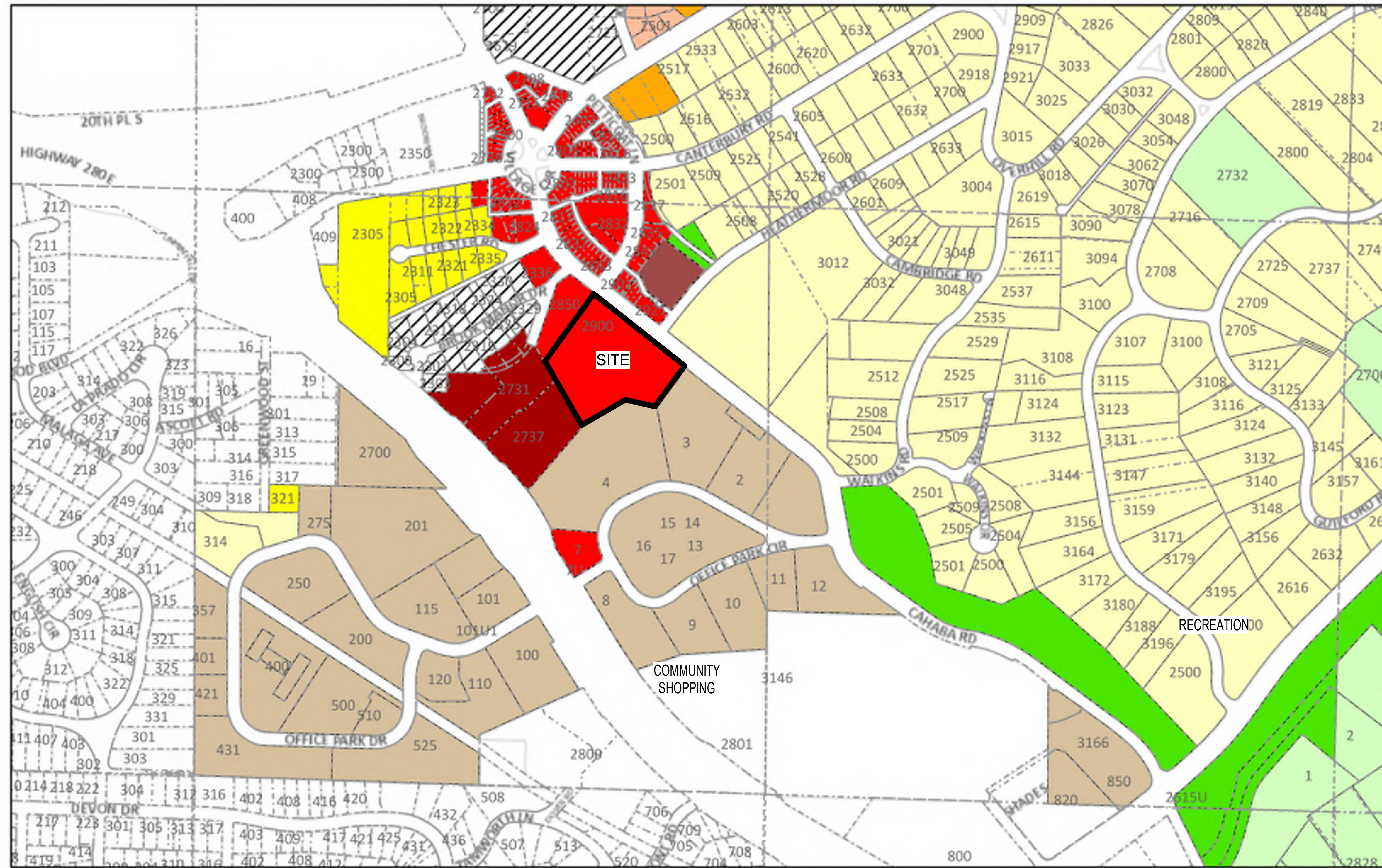
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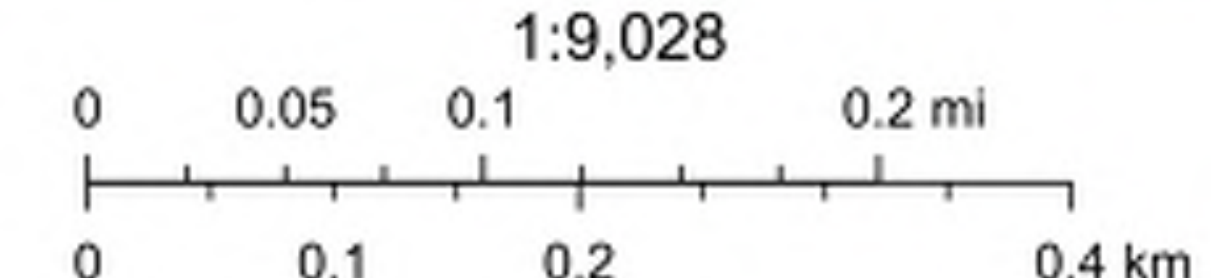
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# SURROUNDING LAND USES AND ZONING



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|---------------------------|------------------------------------|---------------------------|-------------------------|
| CAD Street Centerlines    | JeffCo Municipal Boundary Negative | Tax Parcels 2021          | Local Business District |
| Interim Tax Parcels       | Lot Lines                          | Community Shopping        | Office Park District    |
| JeffCo Municipal Boundary |                                    | Estate Residence District | PUD                     |



JeffCoAL, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METV, NASA, EPA, USDA, Hunter Simmons

AmGIS Web AppBuilder



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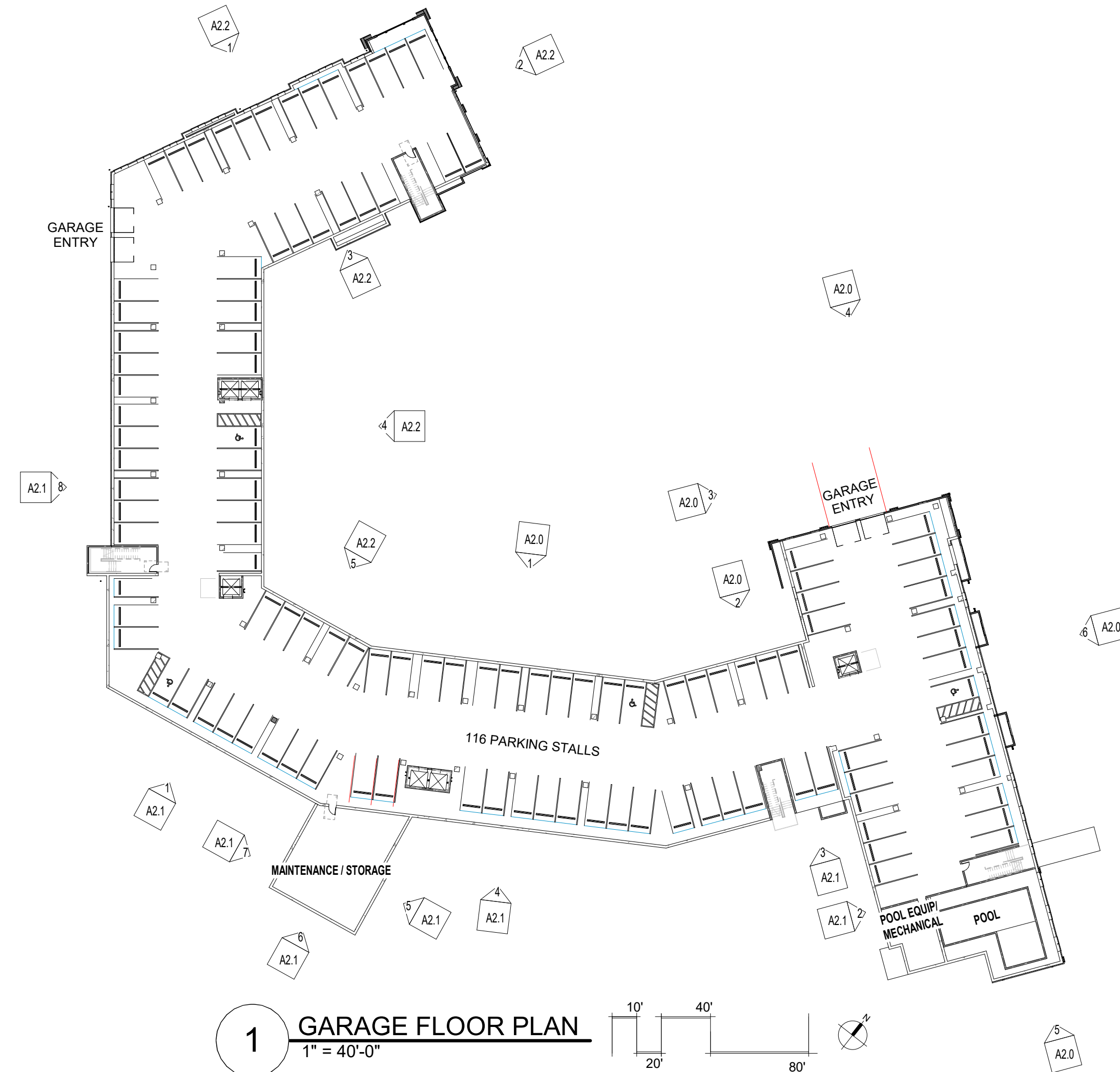
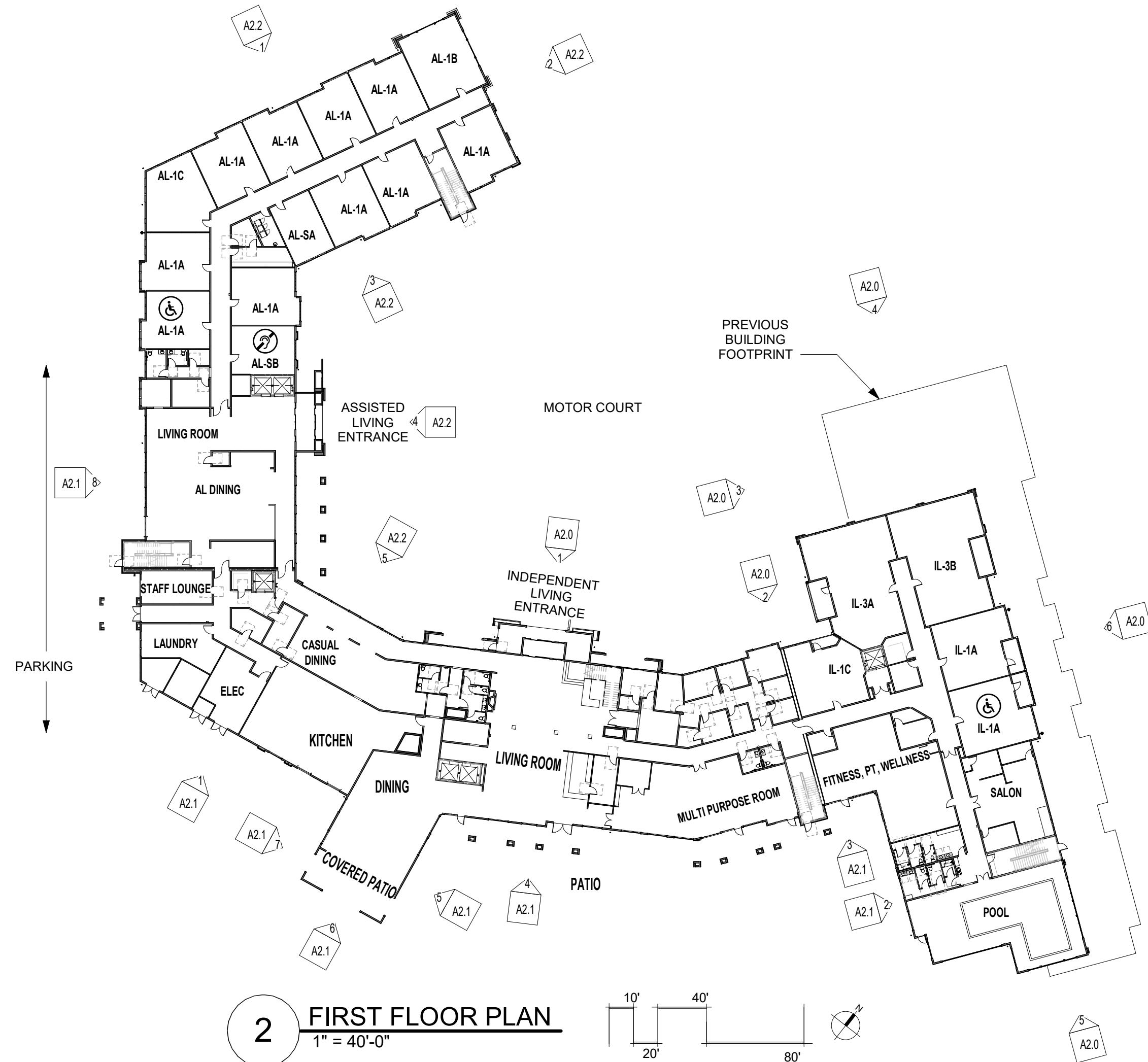
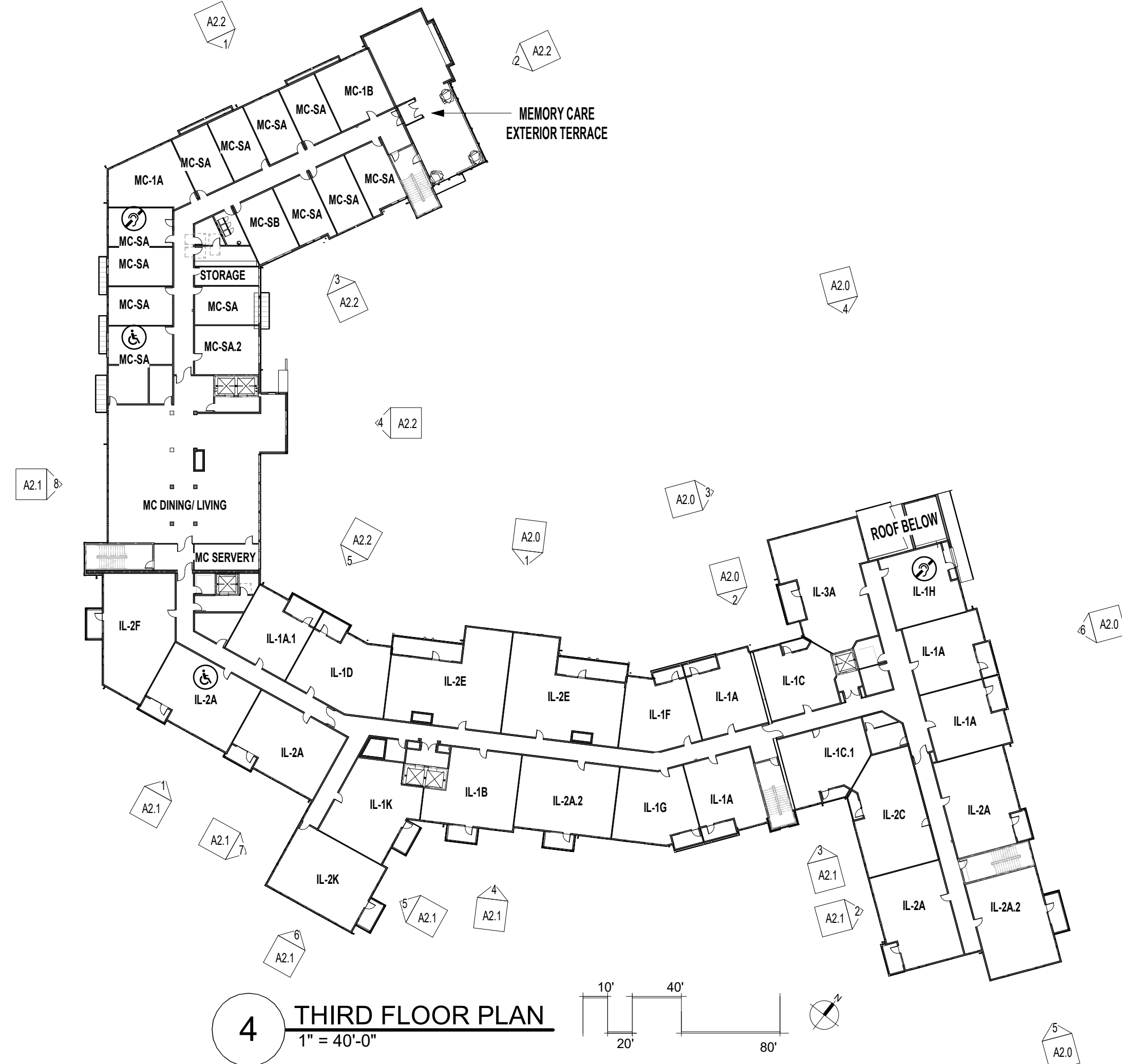
**MOUNTAIN BROOK SENIOR LIVING**  
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SHEET TITLE  
SURROUNDING LAND USES AND ZONING

PROJECT NUMBER: 22050

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PARTNERS

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MOUNTAIN BROOK, AL 35223

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ENTITLEMENT FLOOR PLANS

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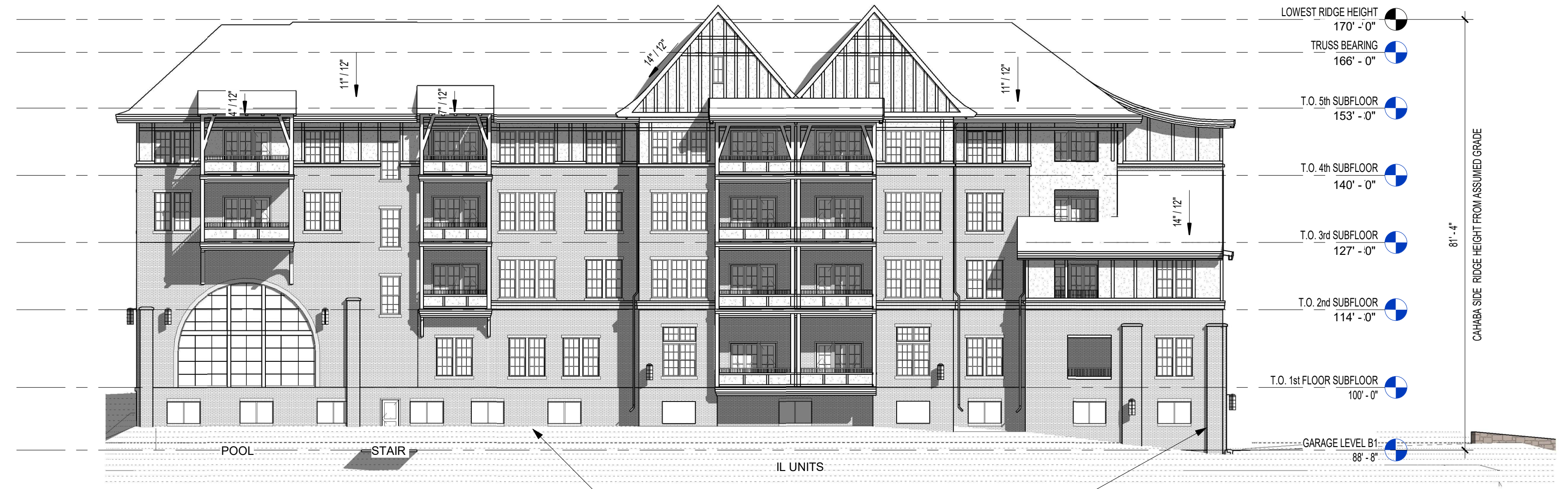


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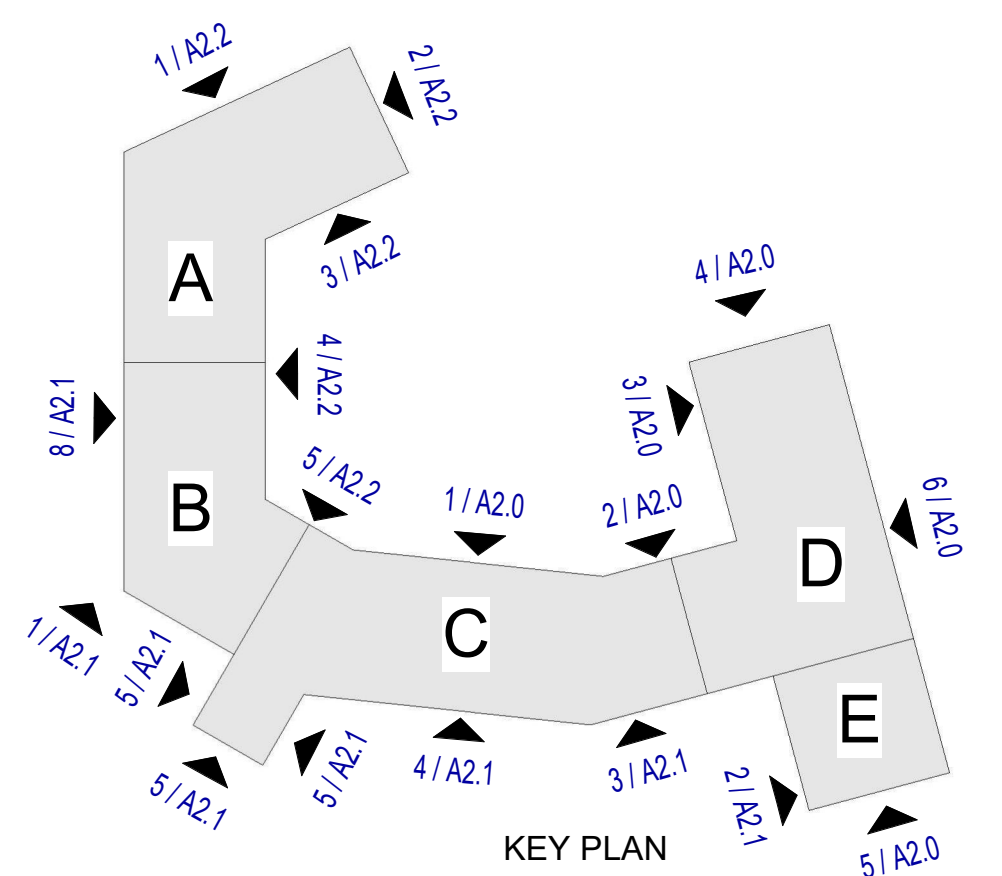
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- BRICK, MODULAR RUNNING BOND
- FIBER CEMENT TRIM - SMOOTH, PAINTED CONTRASTING COLOR
- BALCONY MATERIALITY TO BE PAINTED FIBER CEMENT TRIM WITH PAINTED RAILINGS

PRINTS ISSUED  
07/12/24 PLANNED UNIT DEVELOPMENT

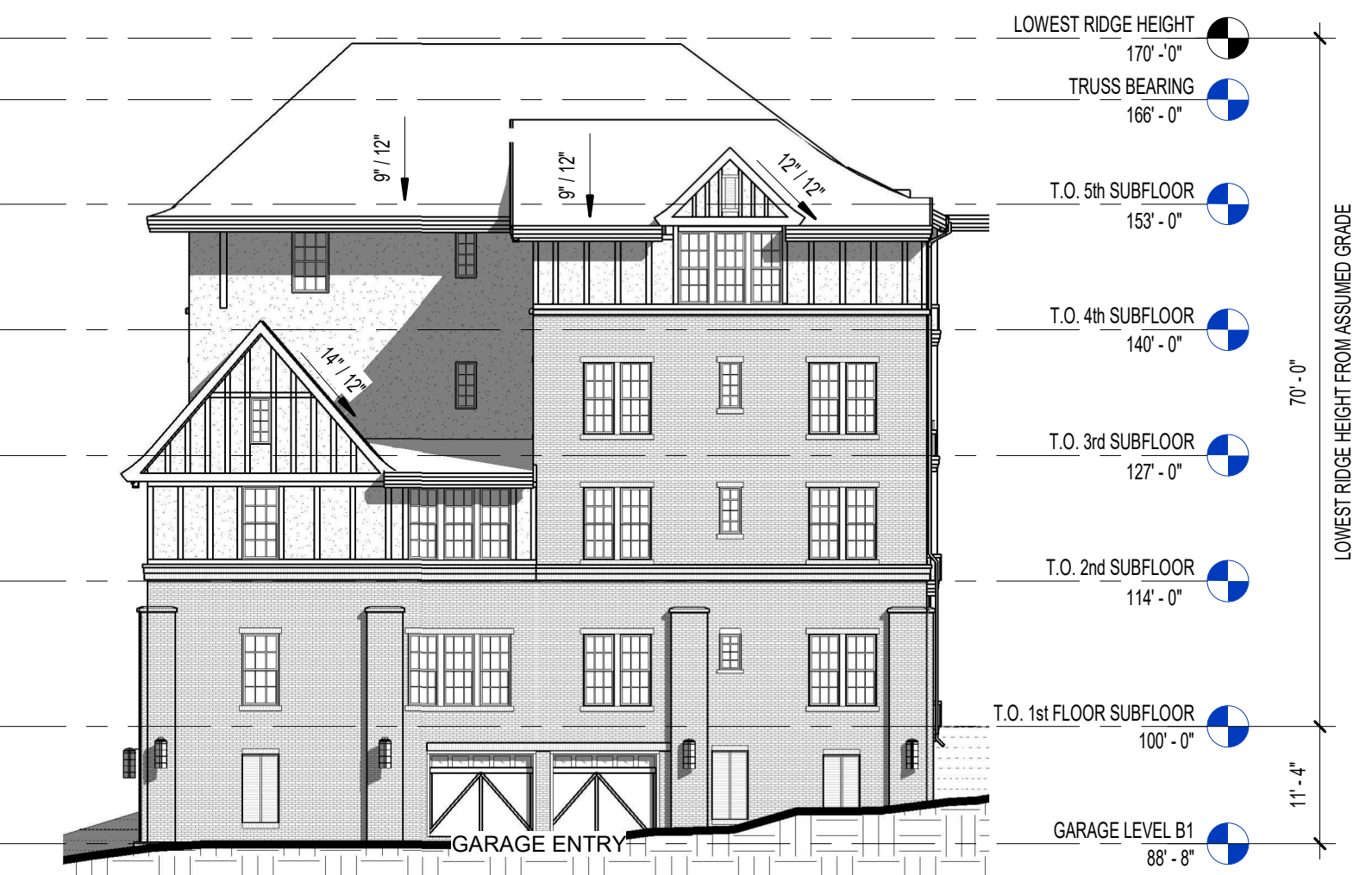
REVISIONS:



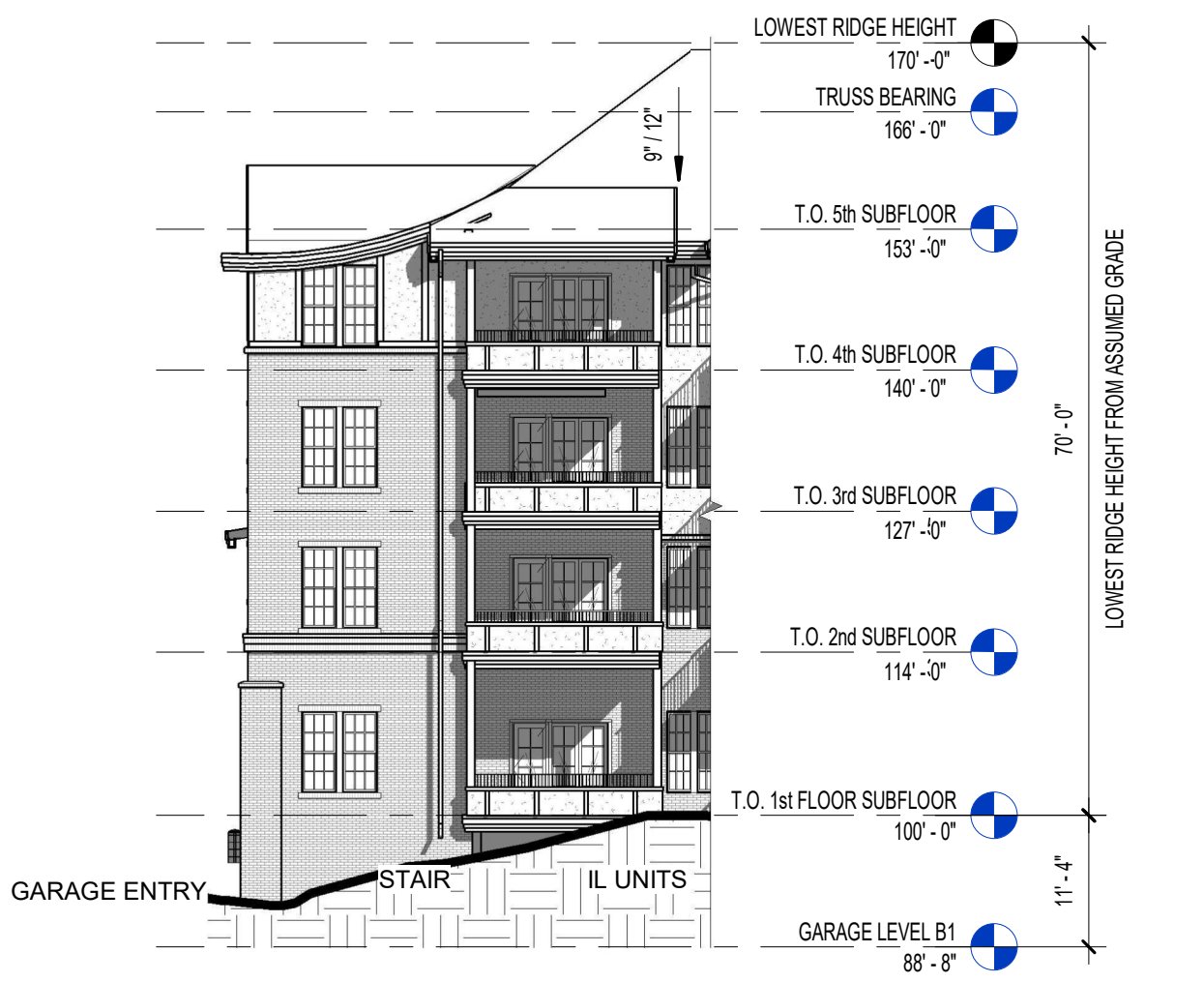
**6 EAST IL WING ELEVATION**  
1/16" = 1'-0"



**5 SOUTH IL WING ELEVATION**  
1/16" = 1'-0"



**4 NORTH IL WING ELEVATION**  
1/16" = 1'-0"



**3 NORTHWEST IL WING ELEVATION**  
1/16" = 1'-0"



**2 NORTH IL ELEVATION**  
1/16" = 1'-0"



**1 NORTH IL ENTRY ELEVATION**  
1/16" = 1'-0"

**DOMINION PARTNERS**

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ENTITLEMENT ELEVATIONS  
PROJECT NUMBER: 22050  
SHEET NUMBER:

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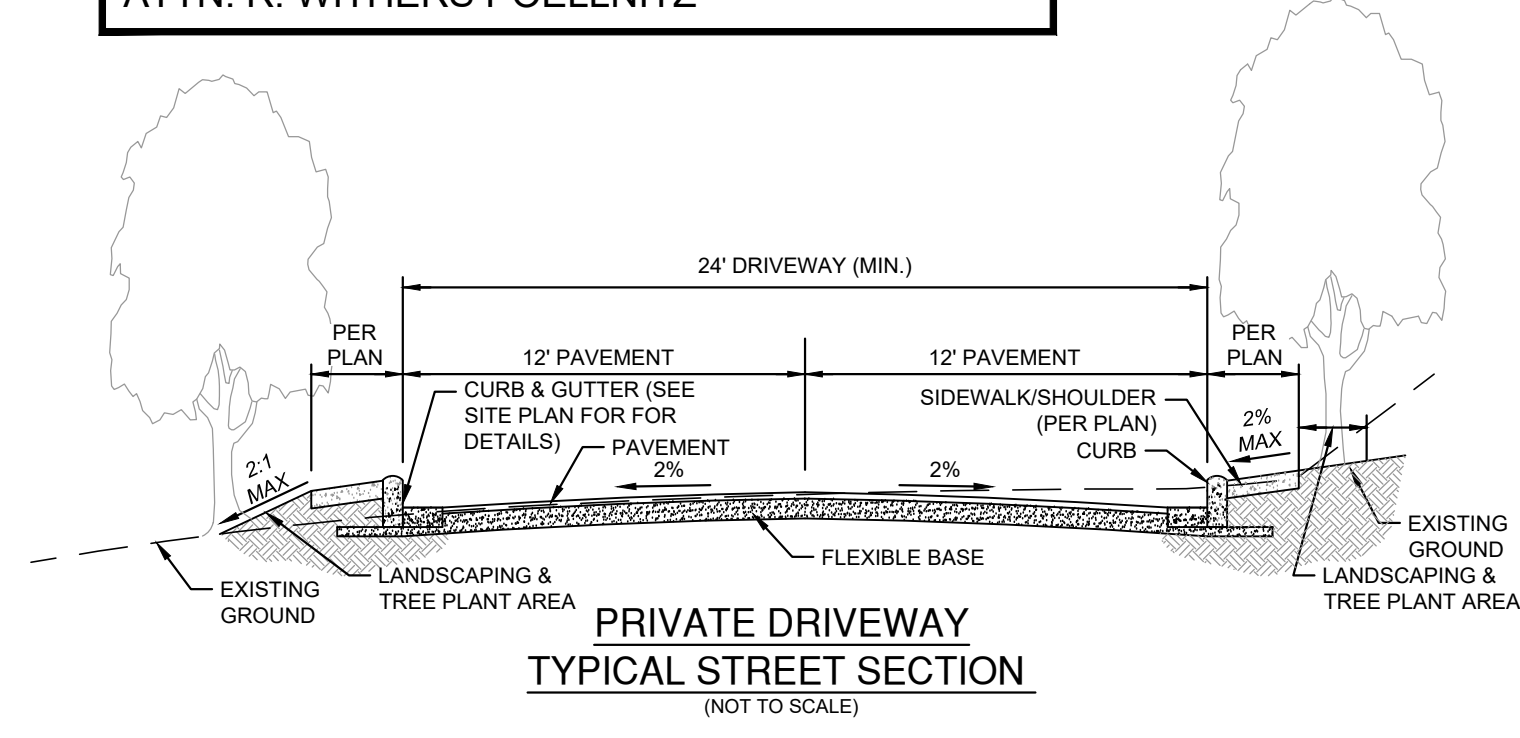




# Planned Unit Development Mountain Brook Senior Living 2900 Cahaba Road Mountain Brook, Alabama 35223

**OWNER:**  
MTB OFFICE PARK LLC  
2900 CAHABA ROAD  
MOUNTAIN BROOK, AL 35223  
ATTN: LADD TUCKER

**DEVELOPER:**  
DOMINION SENIOR LIVING OF BIRMINGHAM, LLC  
1200 CORPORATE DRIVE  
SUITE 225  
BIRMINGHAM, AL 35242  
PHONE: (205) 776-6086  
ATTN: R. WITHERS POELLNITZ



At the request of the City of Mountain Brook, we have agreed to increase the storage capacity of the underground detention facility by 20% greater than preliminary design. Additionally, the outlet structure will be designed such to fully utilize the total storage capacity of the system.

- EROSION CONTROL MEASURES: THE INITIAL STEP FOR SITE PREPARATION SHALL BE TO ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES.
- SUB-GRADE PREPARATION: ONCE ALL TOPSOIL, ORGANIC MATERIALS, AND/OR OTHER UNSUITABLE SOILS HAVE BEEN REMOVED, THE FILL AREAS SHOULD BE LEVELED AND GRADED USING A STATIC ROLLER AND THEN PROFILES USING A LOADED TANDER AXLE DUMP TRUCK WEIGHING AT LEAST 20 TONS TO IDENTIFY AREAS OF WEAK SOIL.
- SELECT FILL: A SELECT GRANULAR MATERIAL, SUCH AS LOCALLY AVAILABLE SAND (SP) SHOULD BE USED AS BACKFILL AND STRUCTURAL FILL. THE MATERIAL SHOULD BE FREE OF WOOD, ROOTS, CLAY LAMPS, AND OTHER DELETERIOUS MATERIALS, AND SHOULD HAVE AN ORGANIC CONTENT NO GREATER THAN 2% BY WEIGHT. THE MATERIAL SHOULD CONFORM TO THE REQUIREMENTS FOR AN A-3 MATERIAL ACCORDING TO THE AASHTO SOIL CLASSIFICATION SYSTEM.
- COMPACTION: FILL MATERIAL MEETING THE REQUIREMENTS OF STRUCTURAL FILL SHALL BE PLACED TO THE REQUIRED GRADES LINES, CROSS SECTIONS, AND THICKNESS AS SHOWN ON THE PLANS. THIS MATERIAL SHOULD BE COMPACTED IN 8 INCH LOOSE LIFTS TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 1557 (STANDARD PROCTOR).

- SIDEWALK AND WHEELCHAIR RAMP GENERAL NOTES**
- WHEN POSSIBLE SIDEWALKS SHOULD BE PLACED NEXT TO THE PROPERTY LINE. DEVIATION OF THE PATHWAY FROM A STRAIGHT LINE IS ENCOURAGED TO AVOID TREES OR OTHER OBSTRUCTIONS.
  - FOR LOCAL SIDEWALKS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 4' AND IF SEPARATED FROM THE CURB, THE SIDEWALK SHALL BE LOCATED A MINIMUM OF 2' FROM THE BACK OF CURB.
  - SIDEWALK RAMP LENGTHS PRESENTED ARE GUIDELINES ONLY. SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 8.33% (1:12) MAXIMUM SLOPE.
  - ALL CURB-RAMPS OR LANDINGS ABUTTING THE CROSSWALK SHALL HAVE A DETECTABLE WARNING 24 INCHES DEEP (IN THE DIRECTION OF PEDESTRIAN TRAVEL) AND EXTENDING THE FULL WIDTH OF THE CURB RAMP OR LANDING. THE DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES, ALIGNED IN A GRID PATTERN WITH A DIAMETER OF A NOMINAL 0.9 INCHES (23 MM), A HEIGHT OF NOMINAL 0.2 INCHES (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES (60 MM).
  - DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
  - SIDEWALK RAMP TYPE V SHALL BE USED ONLY WHERE THERE IS SIGNIFICANT RESTRICTION WITHIN THE PARKWAY TO CONSTRUCT TYPE I OR TYPE III RAMPS.
  - CONSTRUCTION OF ALL WHEELCHAIR RAMPS TO BE INCLUDED UNDER ITEMS "500 - CONCRETE CURBING", "501 - MACHINE LAID CURB" AND/OR "502 - CONCRETE SIDEWALKS". RAMP SURFACE SHALL BE BRUSH FINISHED.
  - THESE DETAILS ARE FOR REFERENCE ONLY. ACTUAL LOCATIONS OF WHEELCHAIR RAMPS TO BE SHOWN ON CONSTRUCTION PLANS. CITY CONSTRUCTION INSPECTOR CAN ADJUST LOCATIONS FOR SAFETY OR UTILITY CLEARANCE.
  - SIDEWALKS LESS THAN 5 FEET IN WIDTH SHALL BE PROVIDED WITH A PASSING SPACE AT A MAXIMUM SPACING OF 200 FEET.
  - WHEELCHAIR RAMP SHALL BE CONSTRUCTED WITH 4" CLASS "A" CONCRETE AND 2" GRAVEL, CRUSHED ROCK OR FLEXIBLE BASE MATERIAL.
  - REINFORCING STEEL SHALL BE #3 BARS AT 18" O.C.E.W. OR 6" x 6" - W2.9 x W2.9 WIRE MESH.
  - SIDEWALK GRADES SHALL NOT EXCEED THE GRADE ESTABLISHED FOR THE ADJACENT ROADWAY, ANY SIDEWALK CONSTRUCTION THAT DEVIATES FROM THE NATURAL GRADE OF THE ROADWAY TO CREATE A GRADE STEEPER THAN THE EXISTING ROADWAY WILL REQUIRE RAMPS, HANDRAILS AND RESTING PLATFORMS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA AND ADOT STANDARDS.
  - SIDEWALK CROSS GRADE SHALL HAVE A MAXIMUM SLOPE OF 2%. LANDINGS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  - THE CHANGE OF GRADE BETWEEN ADJACENT SURFACES SHALL BE LESS THAN 11%. THE CHANGE OF GRADE SHALL BE DEFINED AS THE ALGEBRAIC DIFFERENCE OF THE ADJACENT SURFACE SLOPES. IN THE CASE OF A STREET ACCESS RAMP DESIGNED AT THE 8.33% MAXIMUM SLOPE, THE ADJACENT PAVEMENT CROSS SLOPE SHALL BE LESS THAN 2.67% (I.E. 8.33-(2.67\*11)). IN ADDITION, THE ADJACENT PAVEMENT CROSS SLOPE SHALL BE LESS THAN OR EQUAL TO 5%.
  - IF THE CHANGE OF GRADE BETWEEN ADJACENT SURFACES IS GREATER THAN OR EQUAL TO 11% A LEVELING STRIP, 2 FEET IN LENGTH, SHALL BE PROVIDED TO TRANSITION THE ADJACENT SURFACES.
  - ADA COMPLIANCE IN ALTERATIONS INCLUDE ONLY THAT WORK WITHIN THE LIMITS, BOUNDARIES OR SCOPE OF A PLANNED PROJECT.

PRINTS ISSUED  
07/12/2024 PLANNED UNIT DEVELOPMENT DISTRICT REVISIONS:

**DOMINION PARTNERS**

**LIVE OAK ENGINEERING**

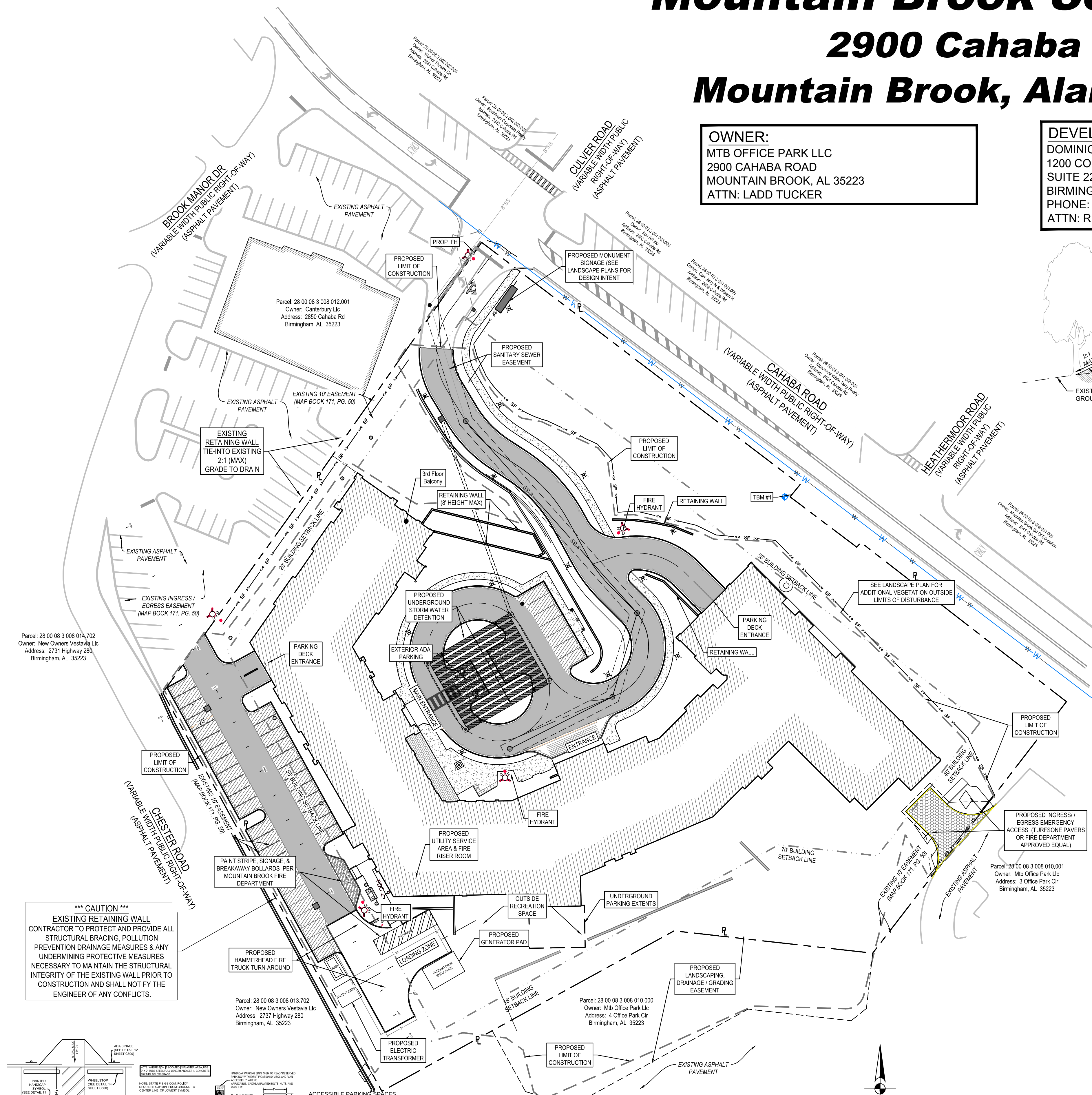
2509 7th AVENUE SOUTH  
BIRMINGHAM, AL 35233  
LIVEOAKENGINEERING.COM  
PHONE: (205) 637-3115  
CIVIL JOB: #240-1

PRELIMINARY  
NOT FOR  
CONSTRUCTION

MOUNTAIN BROOK SENIOR LIVING  
PLANNED UNIT DEVELOPMENT DISTRICT  
2900 CAHABA RD  
MOUNTAIN BROOK, AL 35223

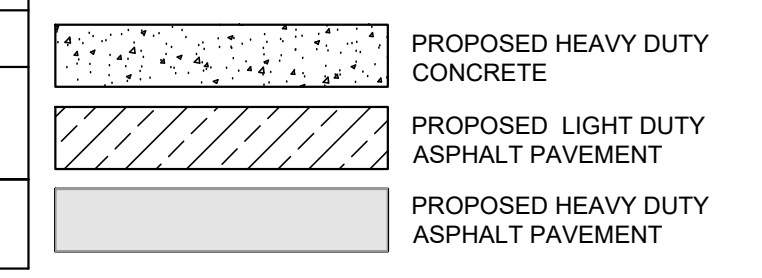
SHEET TITLE  
PUD OVERALL SITE PLAN  
PROJECT NUMBER: 22050  
SHEET NUMBER:

C100



**LAND USE TABLE**

LAND USE	AREA (AC.)
SENIOR LIVING	4.90
TOTALS	4.90

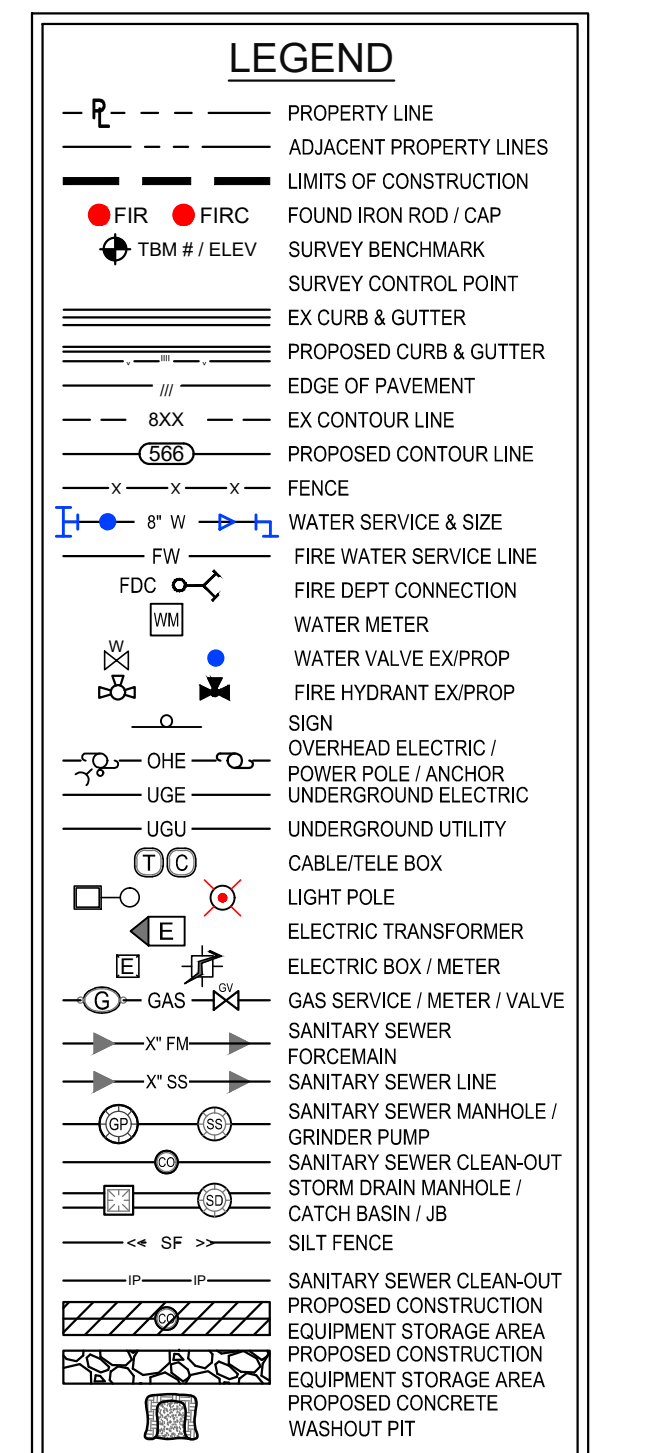


**TRENCH EXCAVATION SAFETY PROTECTION**  
CONTRACTOR AND/OR CONTRACTORS' INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTORS' TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S SUPERVISION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS' INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

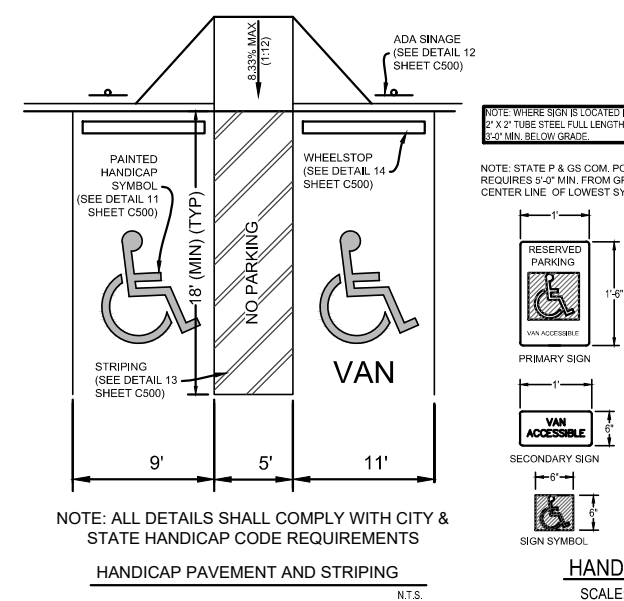
**CAUTION!**  
THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL, DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT B11 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTORS' SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

**LEGAL DESCRIPTION**  
BEING A 4.90 ACRE TRACT OF LAND AND MORE PARTICULARLY DESCRIBED AS FOLLOWS, LOT 2, VILLAGE GREEN, AS RECORDED IN MAP BOOK 171, PAGE 50 IN THE OFFICE OF THE JUDGE OF PROBATE OF JEFFERSON COUNTY, ALABAMA.

**BENCH MARK TBM #1**  
BENCHMARK: FROM SOUTHWEST CORNER OF THE INTERSECTION OF CAHABA ROAD & CULLIVER ROAD, BEING THE NORTHWEST SUBJECT PROPERTY CORNER AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF CAHABA ROAD APPROXIMATELY ±285' SOUTHEAST & ±12' SOUTHWEST TO A FOUND 4"x4" CONCRETE MONUMENT  
N: 1267233.32  
E: 2190504.22  
ELEVATION = 676.58'

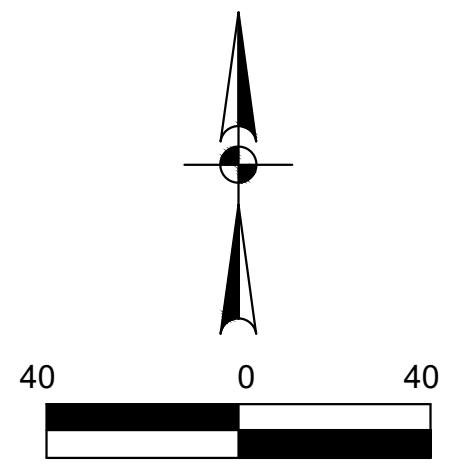


**\*\*\* CAUTION \*\*\***  
EXISTING RETAINING WALL CONTRACTOR TO PROTECT AND PROVIDE ALL STRUCTURAL BRACING, POLLUTION PREVENTION DRAINAGE MEASURES & ANY UNDERMINING PROTECTIVE MEASURES NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING WALL PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS.



NOTE: ALL DETAILS SHALL COMPLY WITH CITY & STATE HANDICAP CODE REQUIREMENTS

**ACCESSIBLE PARKING SPACES**  
(a) A paved accessible parking spaces must include:  
(1) the International Symbol of Accessibility painted conspicuously on the surface in a color that contrasts the pavement;  
(2) the words "NO PARKING" painted on any access aisle adjacent to the parking space. The words must be painted:  
(A) in all capital letters;  
(B) with a letter height of at least twelve inches, and a stroke width of at least two inches; and  
(C) centered within each access aisle adjacent to the parking space; and  
(3) a sign identifying the consequences of parking illegally in a paved accessible parking space. The sign must:  
(A) be a minimum size "Violators Subject to Fine and Towing" in a letter height of at least one inch;  
(B) be mounted on a pole, post, wall or freestanding board;  
(C) be no more than eight inches below a sign required by ADA Accessibility Standards, 502.6; and  
(D) be installed so that the bottom edge of the sign is no lower than 48 inches and no higher than 80 inches above ground level.  
(b) A parking space identification sign that complies with ADA Accessibility Standards, 502.6, that includes the requirements in subsection (a)(3).  
(A) satisfies subsection (a)(3).





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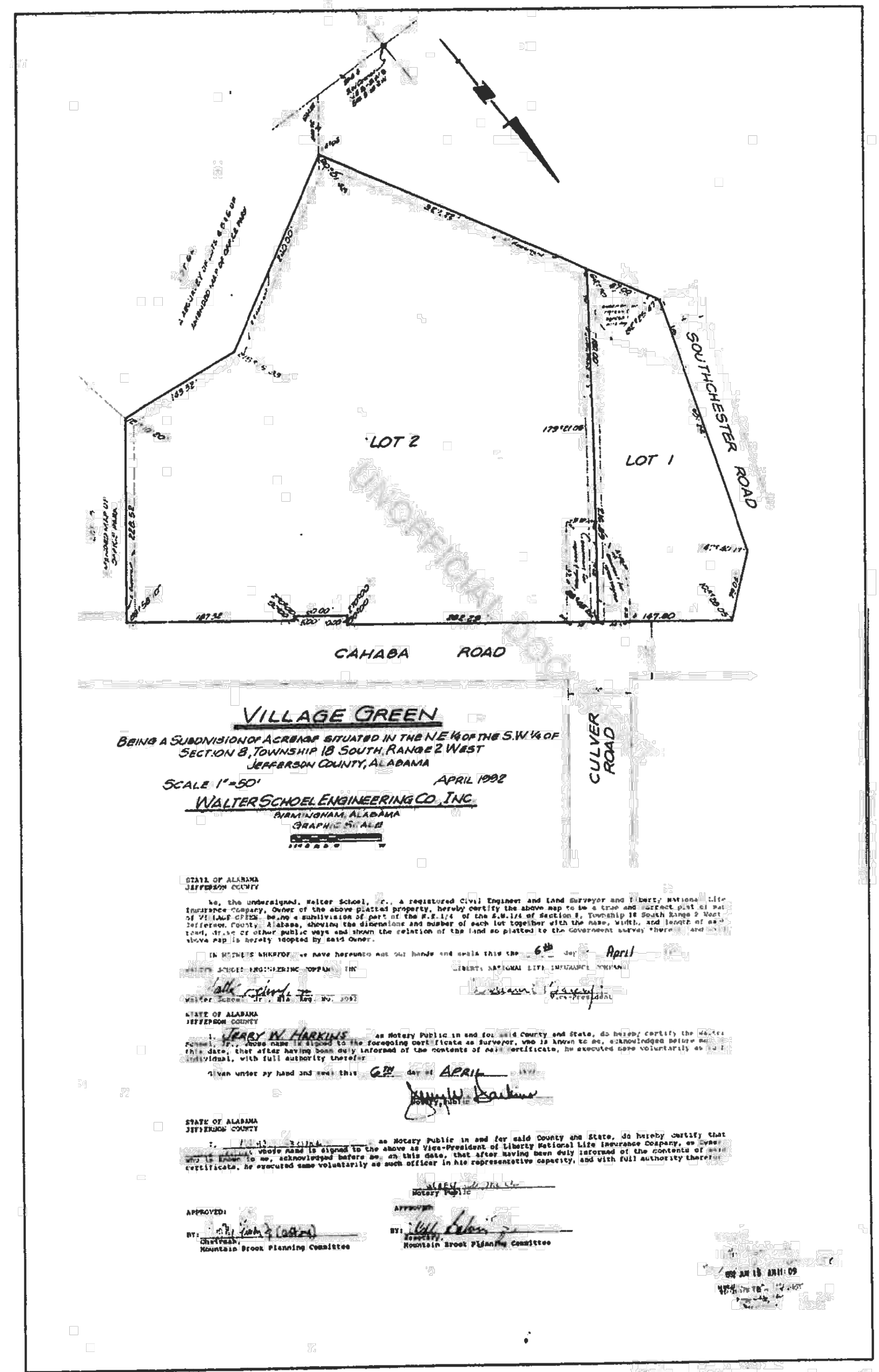
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

MOUNTAIN BROOK SENIOR LIVING  
 PLANNED UNIT DEVELOPMENT DISTRICT

2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

SHEET TITLE  
 EXISTING SURVEY & PLAT  
 PROJECT NUMBER: 22050  
 SHEET NUMBER:

C200



VILLAGE GREEN  
 MAP BOOK 171, PAGE 50  
 JEFFERSON COUNTY, ALABAMA.  
 (NOT TO SCALE)

STATE OF ALABAMA  
 JEFFERSON COUNTY

I, James M. Ray, a Registered Land Surveyor in the State of Alabama, hereby certify that all parts of this survey and plat (or drawing) have been completed in accordance with the requirements of the Standards for the Practice of Surveying in the State of Alabama.

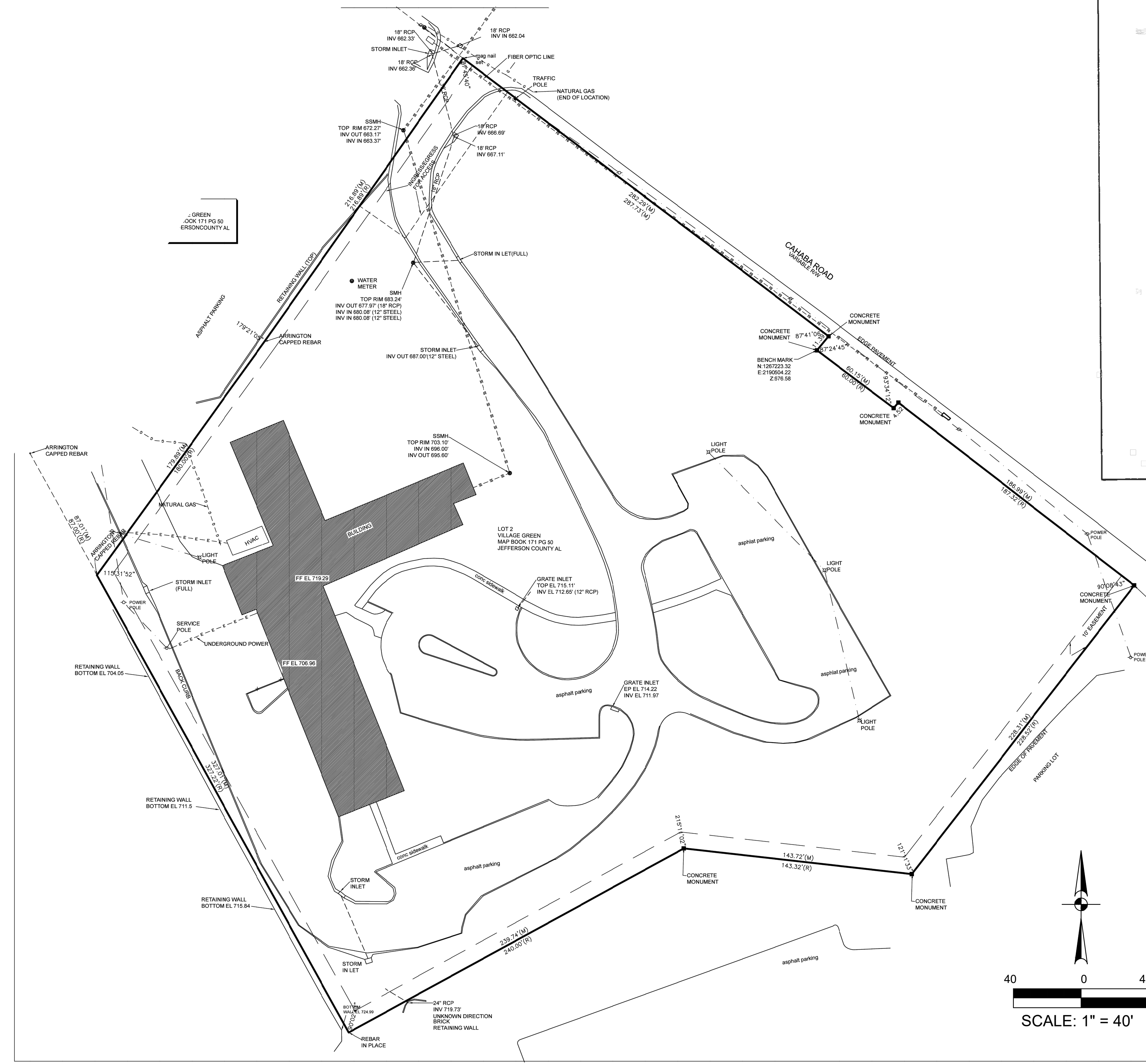
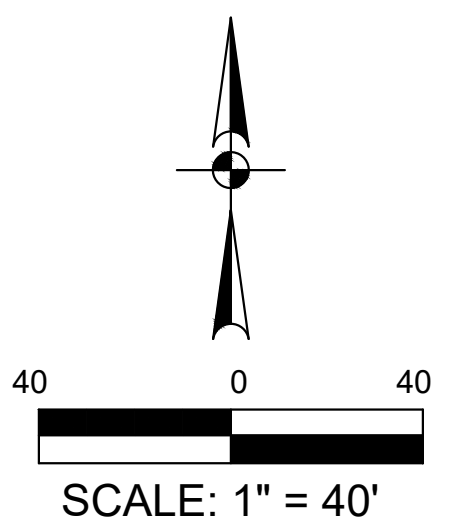
According to my survey this the 31ST day of OCTOBER 2022.

*James M. Ray*  
 James M. Ray, Alg. Reg. No. 18383  
 Ray and Gilliland, P. C., Alg. Board Cert. No. CA-0114-LS

Note: No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. Underground portions of foundations and footings and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. We do not look for underground sewer or flip manhole covers. This survey is not transferable and may only be used by the person/company that pays for it at time of survey.

EMAIL: JIM.RAY@RAYANDGILLILAND.COM

RAY & GILLILAND, P.C.	
122 NORTH CAHOUN STREET P.O. BOX 1163 BIRMINGHAM, ALABAMA 35101	TEL NO: (205) 245-3243 FAX NO: (205) 245-3202 FILE SENIOR LIVING
DRAWN BY: CHRIS ALVENSEN	BOUNDARY SURVEY
	OCTOBER 2022

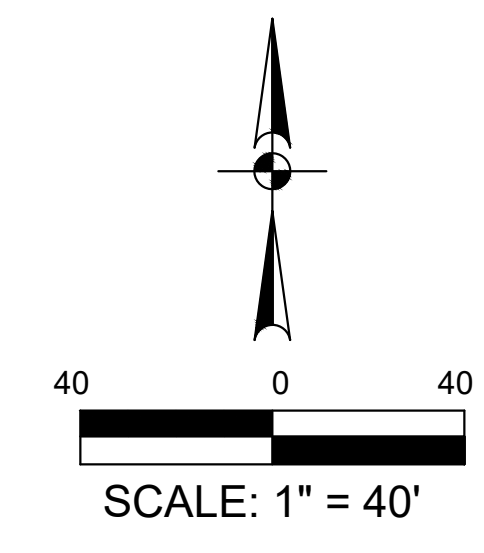


L2 COCHRANE October 20, 2023  
 C:\Users\lcochrane\OneDrive\Projects - Documents\2023\Mountain Brook Senior Living\01 - Production\02 - Existing Conditions & Demolition Plan



**EXISTING CONDITIONS & DEMOLITION PLAN**  
 SCALE: 1" = 40'

- DEMOLITION NOTES:**
- LOCATION OF EXISTING UTILITIES AND DRAINAGE SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
  - DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED. VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
  - CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
  - DUE TO FEDERAL REGULATIONS TITLE 49, PART 192, 181, THE UTILITY GAS SERVICE COMPANY MUST MAINTAIN ACCESS TO VALVES AT ALL TIME THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
  - ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY THE ELECTRIC UTILITY SERVICE COMPANY AT OWNERS EXPENSE CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES.
  - CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND OWNER FOR ANY TREE REMOVAL AND REMOVAL AND/OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY SERVICE COMPANY TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
  - CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL A STORM WATER POLLUTION PREVENTION PLAN IS INSTALLED AND COMPLETED.
  - THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL OF ALL DEMOLISHED OR UNWANTED MATERIAL.
  - THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
  - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL NOT DEMOLISH ANY WATER OR SANITARY SEWER LINE WITHOUT THE UTILITY SERVICE PROVIDER'S APPROVAL.
  - CONTRACTOR SHALL INSTALL A MINIMUM 6-FOOT HIGH CHAIN LINK PROTECTIVE FENCE AS SHOWN ALONG THE PERIMETER OF THE CONSTRUCTION/DEMOLITION LIMITS. PROTECTIVE FENCE SHALL BE IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE AND IN GOOD REPAIR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL TAKE SPECIAL CARE TO INSTALL VEHICULAR BARRIERS AND FENCING TO PROHIBIT VEHICULAR AND PEDESTRIAN ACCESS TO THAT AREA CONTRACTOR SHALL COORDINATE WITH THE OWNER TO ENSURE THAT FENCING AND BARRIERS INSTALLED ARE ADEQUATE.



LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINES
	LIMITS OF CONSTRUCTION
	FOUND IRON ROD / CAP
	SURVEY BENCHMARK
	SURVEY CONTROL POINT
	EX CURB & GUTTER
	PROPOSED CURB & GUTTER
	EDGE OF PAVEMENT
	EX CONTOUR LINE
	PROPOSED CONTOUR LINE
	FENCE
	WATER SERVICE & SIZE
	FIRE WATER SERVICE LINE
	FIRE DEPT CONNECTION
	WATER METER
	WATER VALVE EX/PROP
	FIRE HYDRANT EX/PROP
	SIGN
	OVERHEAD ELECTRIC / POWER POLE / ANCHOR
	UNDERGROUND ELECTRIC
	UNDERGROUND UTILITY
	CABLE/TELE BOX
	LIGHT POLE

PRINTS ISSUED  
 07/12/2024 PLANNED UNIT DEVELOPMENT DISTRICT  
 REVISIONS:



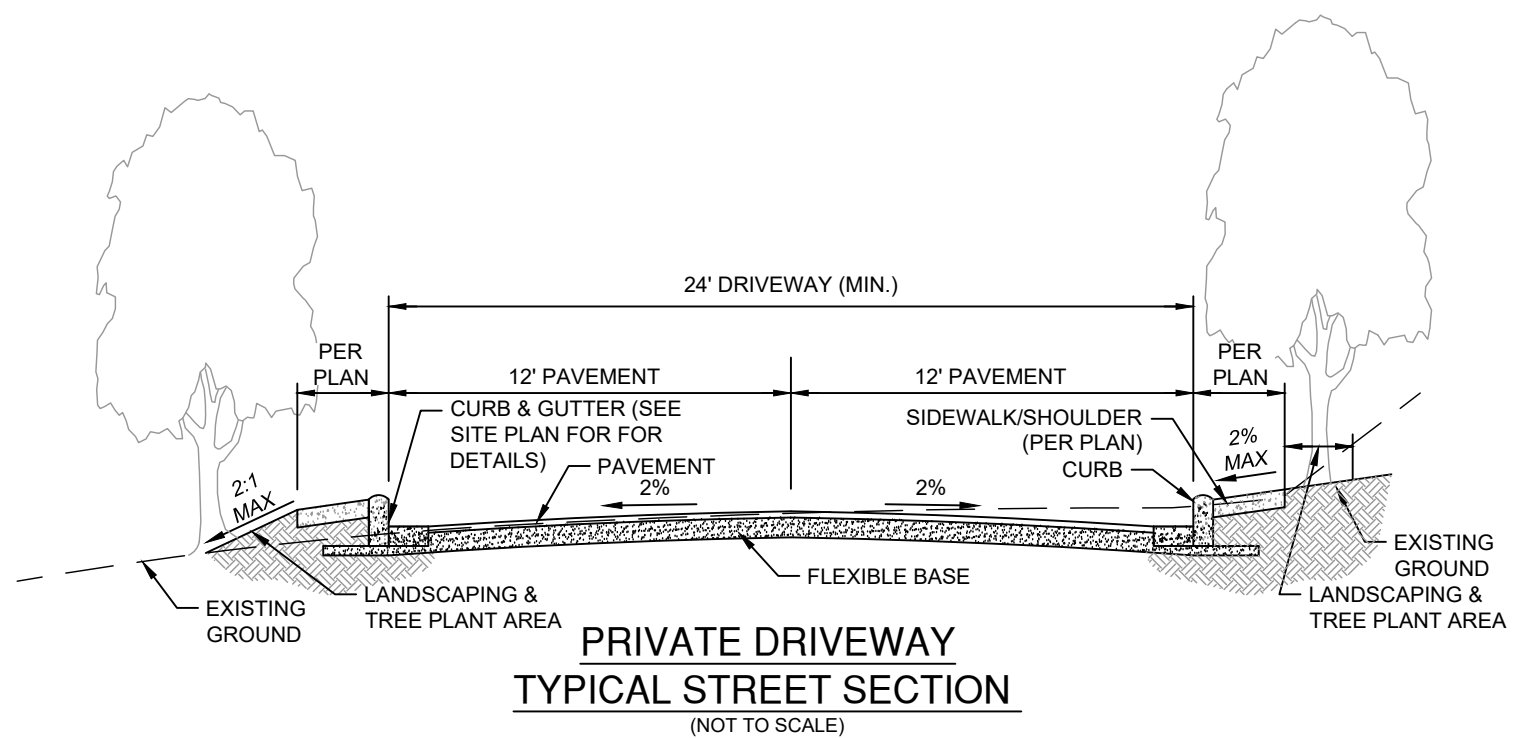
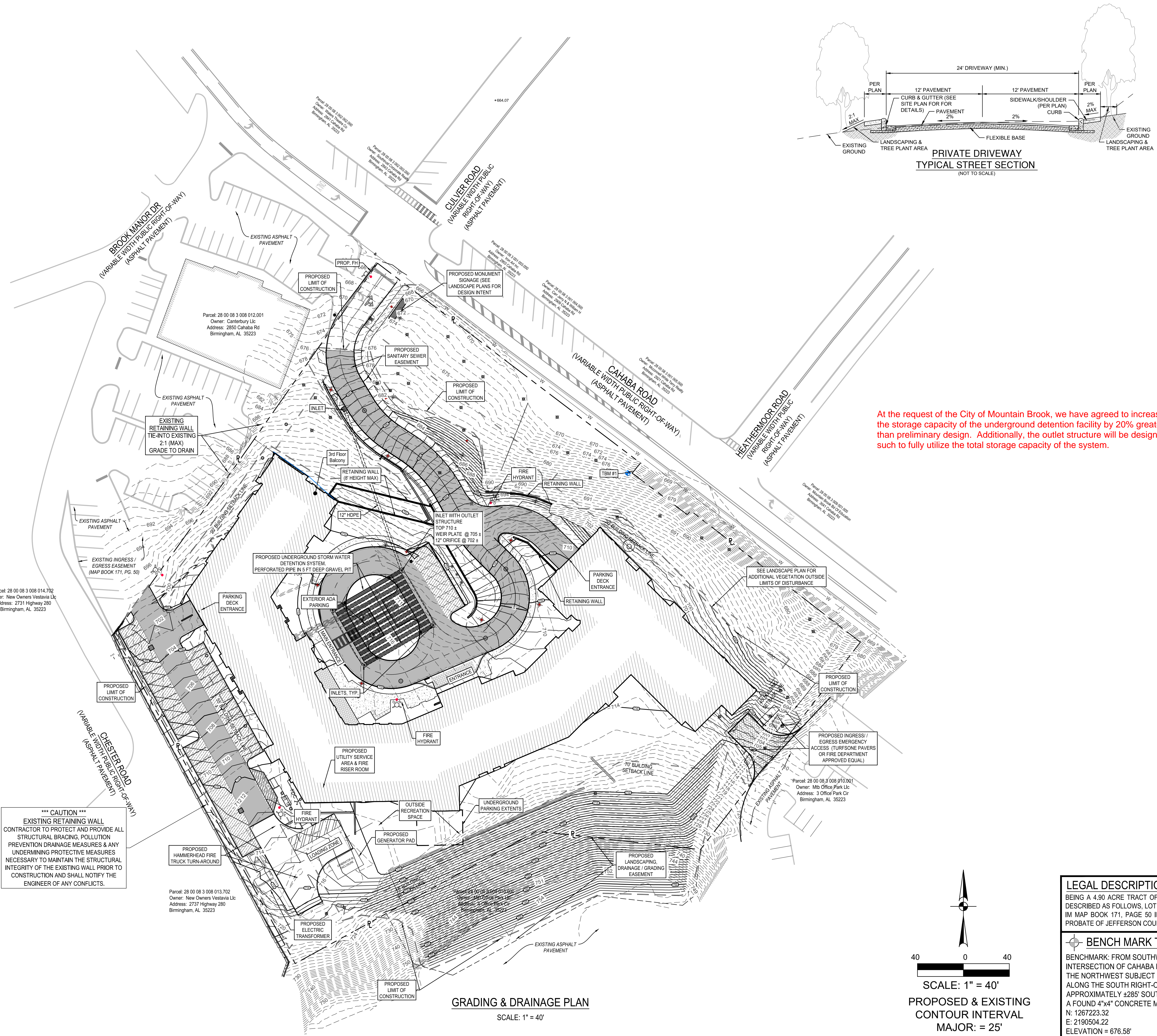
2509 7th AVENUE SOUTH  
 BIRMINGHAM, AL 35233  
 LIVEOAKENGINEERING.COM  
 PHONE: (205) 637-3115  
 CIVIL JOB: #240-1

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

**MOUNTAIN BROOK SENIOR LIVING**  
 PLANNED UNIT DEVELOPMENT DISTRICT  
 2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

SHEET TITLE  
**EXISTING CONDITIONS & DEMOLITION PLAN**  
 PROJECT NUMBER: 22050  
 SHEET NUMBER:

**C201**



- ### SITE GRADING NOTES
- ALL DETENTION AREAS SHALL BE SODDED INCLUDING THE TIE-IN SLOPES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING TIE-IN POINTS, STRUCTURES, PIPES, ETC., PRIOR TO CONSTRUCTION.
  - NO ACCESSIBLE PARKING STALLS OR ADJACENT ACCESS AISLES SHALL EXCEED 2% SLOPE IN ANY DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
  - NO SIDEWALK CROSS SLOPE SHALL EXCEED 2% AND NO SIDEWALK LONGITUDINAL SLOPE SHALL EXCEED 5%. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
  - FINISH SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. IF SPECIFIC GRADES AND SLOPES ARE NOT SHOWN FOR WORK IN ANY AREA, THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS ACHIEVED AWAY FROM BUILDINGS AND STRUCTURES AND TIE INTO EXISTING CONDITIONS.

**TRENCH EXCAVATION SAFETY PROTECTION**  
 CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

**CAUTION!!**  
 THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 811 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGEND

TC 8XX.XX	PROPOSED TOP OF CURB/CONCRETE
EP 8XX.XX	PROPOSED EDGE OF CONCRETE PAVEMENT
8XX.XX	PROPOSED SPOT ELEV.
2%	PROPOSED PAVEMENT SLOPE
→	FLOW DIRECTION
[Pattern]	PROPOSED HEAVY DUTY CONCRETE
[Pattern]	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
[Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[Pattern]	PROPOSED SWALE

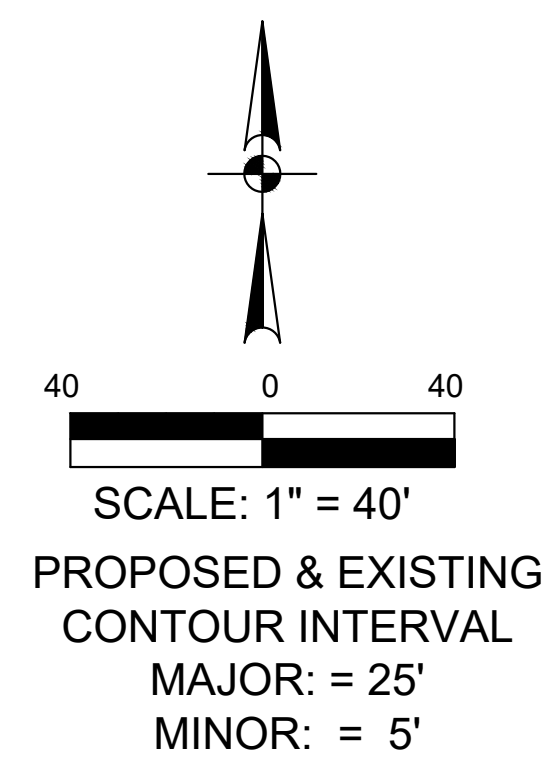
#### LEGEND

- - -	PROPERTY LINE
- - -	ADJACENT PROPERTY LINES
- - -	LIMITS OF CONSTRUCTION
●	FIR
●	FIRC
▲	TBM # / ELEV
△	SURVEY BENCHMARK
△	SURVEY CONTROL POINT
---	EX CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	EDGE OF PAVEMENT
---	EX CONTOUR LINE
---	PROPOSED CONTOUR LINE
---	FENCE
---	WATER SERVICE & SIZE
---	FIRE WATER SERVICE LINE
---	FIRE DEPT CONNECTION
---	WATER METER
---	WATER VALVE EX/PROP
---	FIRE HYDRANT EX/PROP
---	SIGN
---	OVERHEAD ELECTRIC / POWER POLE / ANCHOR
---	UNDERGROUND ELECTRIC
---	UNDERGROUND UTILITY
---	CABLE/ELE BOX
---	LIGHT POLE
---	ELECTRIC TRANSFORMER
---	ELECTRIC BOX / METER
---	GAS SERVICE / METER / VALVE
---	SANITARY SEWER FORCEMAIN
---	SANITARY SEWER LINE
---	SANITARY SEWER MANHOLE / GRINDER PUMP
---	SANITARY SEWER CLEAN-OUT
---	STORM DRAIN MANHOLE / CATCH BASIN / JB
---	SANITARY SEWER CLEAN-OUT PROPOSED CONSTRUCTION
---	EQUIPMENT STORAGE AREA
---	PROPOSED CONSTRUCTION
---	EQUIPMENT STORAGE AREA
---	PROPOSED CONCRETE WASHOUT PIT

#### LEGAL DESCRIPTION

BEING A 4.90 ACRE TRACT OF LAND AND MORE PARTICULARLY DESCRIBED AS FOLLOWS, LOT 2, VILLAGE GREEN, AS RECORDED IN MAP BOOK 171, PAGE 50 IN THE OFFICE OF THE JUDGE OF PROBATE OF JEFFERSON COUNTY, ALABAMA.

**BENCHMARK TBM #1**  
 BENCHMARK: FROM SOUTHWEST CORNER OF THE INTERSECTION OF CAHABA ROAD & CULVER ROAD, BEING THE NORTHWEST SUBJECT PROPERTY CORNER AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF CAHABA ROAD APPROXIMATELY ±285' SOUTHEAST & ±12' SOUTHWEST TO A FOUND 4"x4" CONCRETE MONUMENT  
 N: 1267223.32  
 E: 2190504.22  
 ELEVATION = 676.58'



**GRADING & DRAINAGE PLAN**  
 SCALE: 1" = 40'

At the request of the City of Mountain Brook, we have agreed to increase the storage capacity of the underground detention facility by 20% greater than preliminary design. Additionally, the outlet structure will be designed such to fully utilize the total storage capacity of the system.

**\*\*\* CAUTION \*\*\***  
 EXISTING RETAINING WALL CONTRACTOR TO PROTECT AND PROVIDE ALL STRUCTURAL BRACING, POLLUTION PREVENTION DRAINAGE MEASURES & ANY UNDERMINING PROTECTIVE MEASURES NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING WALL PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS.

PRINTS ISSUED  
 07/12/2024 PLANNED UNIT DEVELOPMENT DISTRICT  
 REVISIONS:

**DOMINION PARTNERS**

**LIVE OAK ENGINEERING**

2509 7th AVENUE SOUTH  
 BIRMINGHAM, AL 35233  
 LIVEOAKENGINEERING.COM  
 PHONE: (205) 637-3115  
 CIVIL JOB: #240-1

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

**MOUNTAIN BROOK SENIOR LIVING**  
 PLANNED UNIT DEVELOPMENT DISTRICT  
 2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

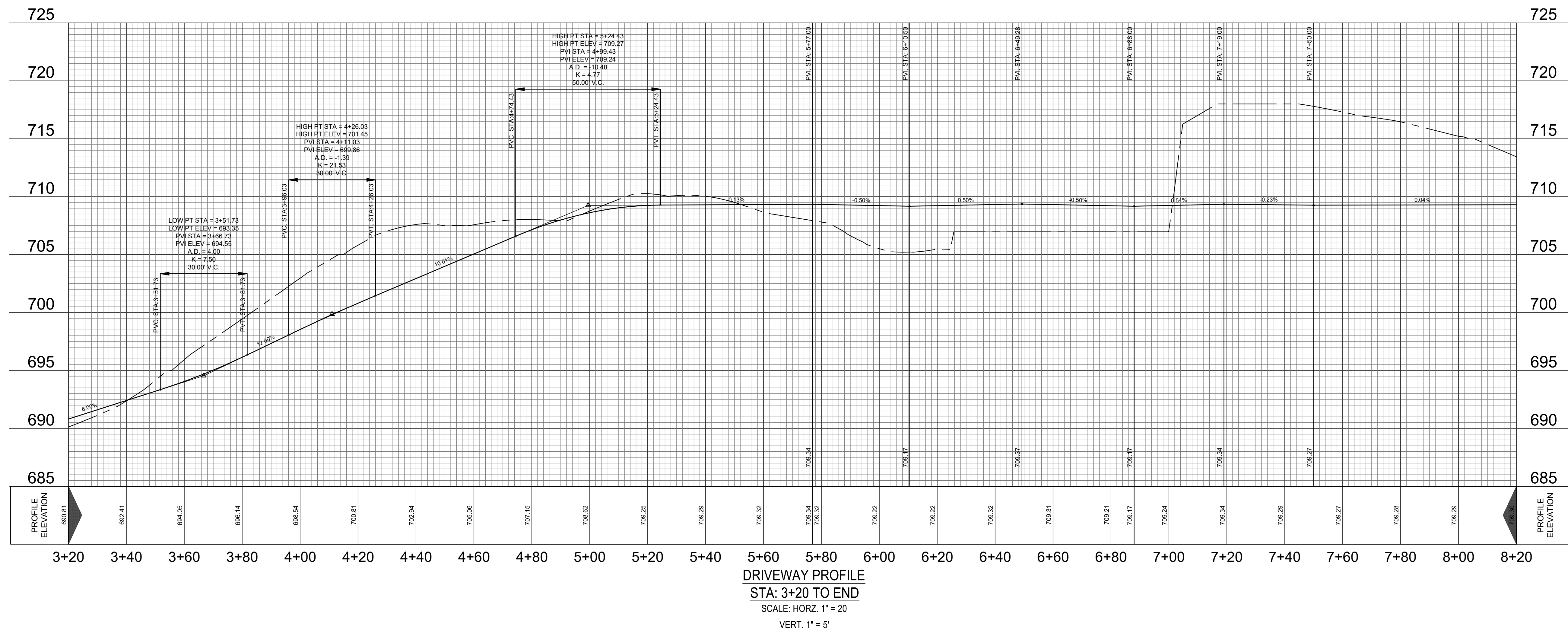
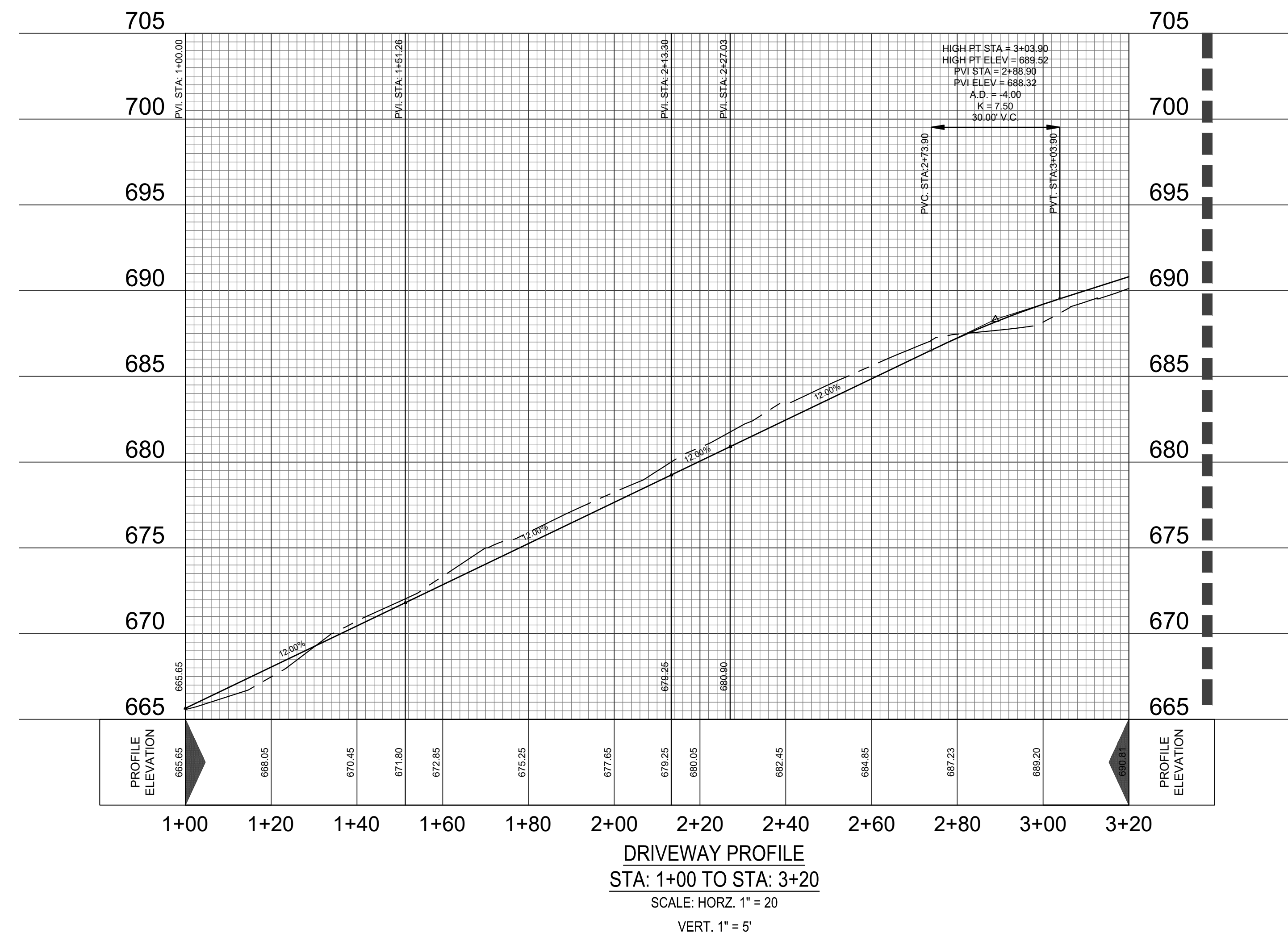
SHEET TITLE  
**PAVING, GRADING, & DRAINAGE PLAN**  
 PROJECT NUMBER: 22050

SHEET NUMBER:  
**C300**



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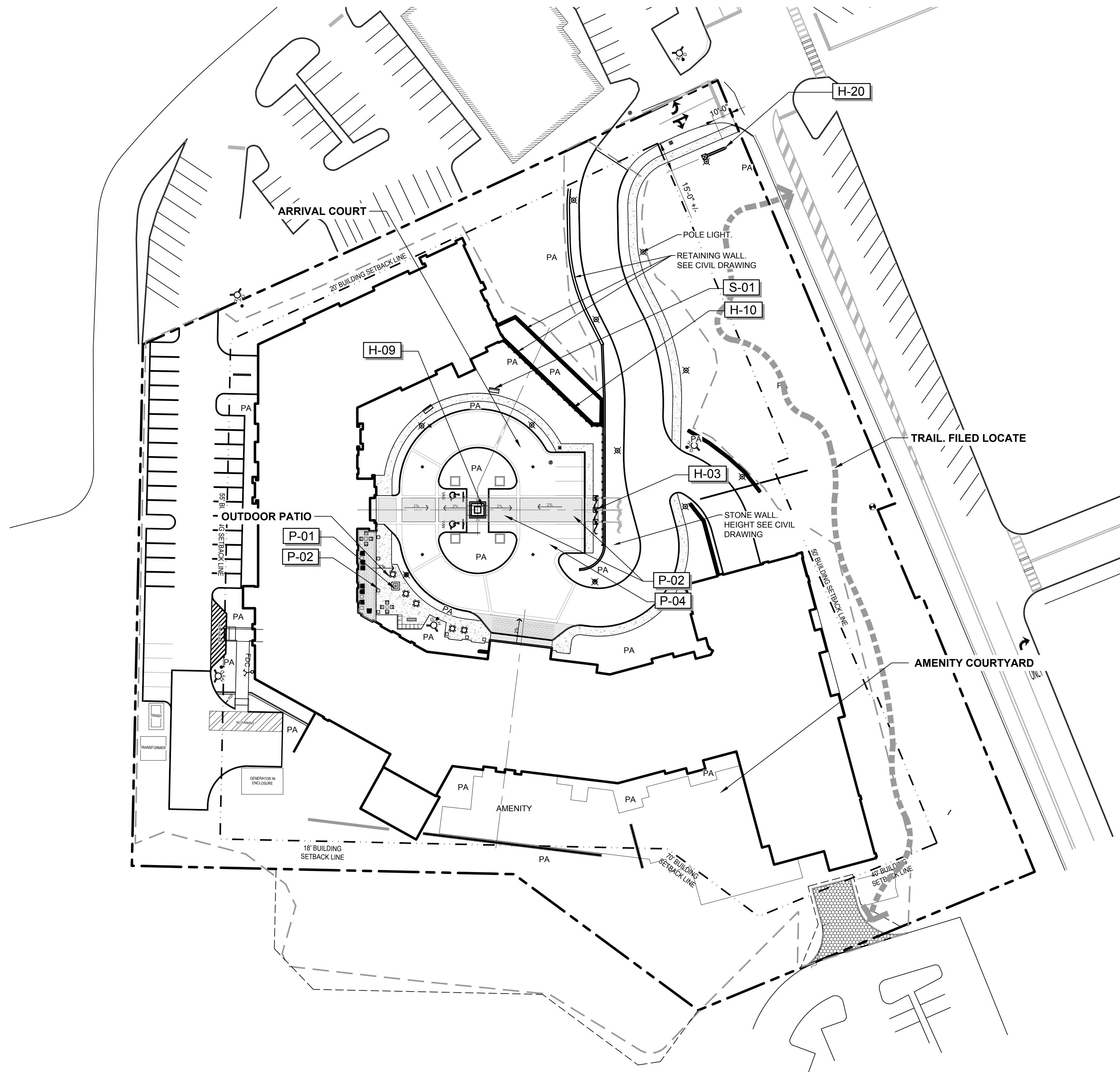


MOUNTAIN BROOK SENIOR LIVING  
 PLANNED UNIT DEVELOPMENT DISTRICT  
 2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

SHEET TITLE  
 DRAINAGE DETAILS  
 PROJECT NUMBER: 22050  
 SHEET NUMBER:

C301

ELIZABETH COCHRANE May 1, 2024  
 C:\Users\ElizabetCochrane\OneDrive\Projects - Documents\2405\Dominion Partners\2401 Mountain Brook Senior Living Rev. Grading - C301.dwg (24050522050)

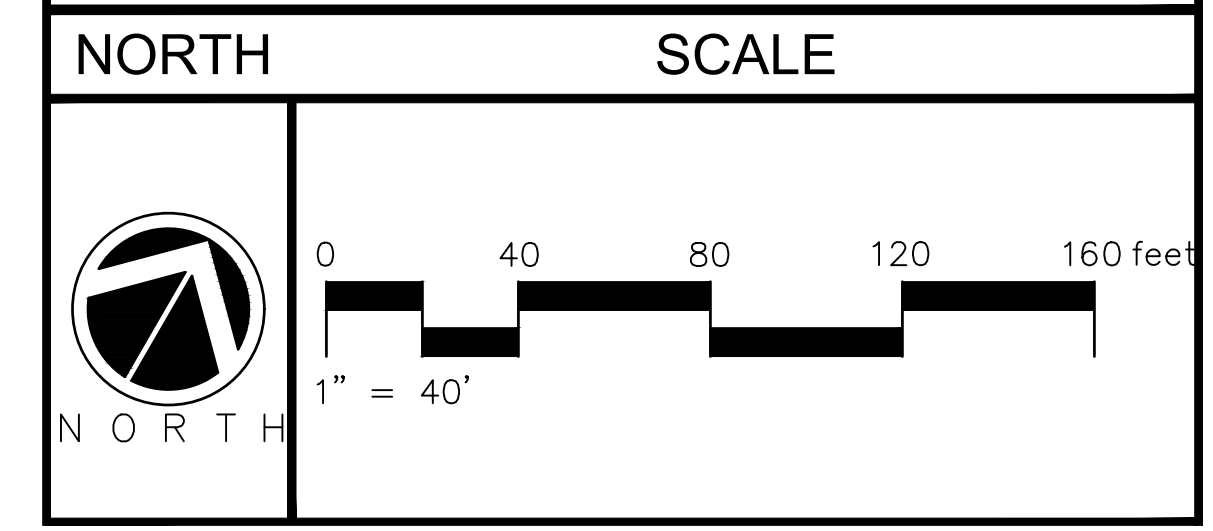


HARDSCAPE PLAN

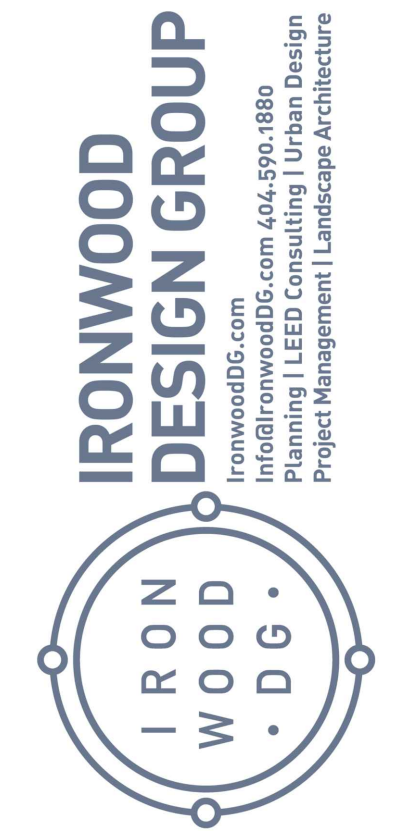


ENTRY SIGN DESIGN INTENTION  
 EXHIBITS FOR ILLUSTRATIVE PURPOSES ONLY. THIS IMAGE IS FOR DESIGN INTENTION ONLY AND SUBJECT TO CHANGE INCLUDING, BUT NOT LIMITED TO MATERIAL, COLOR, AND SIZE, ETC.

REFERENCE NOTES	
REFERENCE NOTES SCHEDULE	
HARDSCAPE	
SYMBOL	DESCRIPTION
H-03	FLAG POLE BASE. 36" SQUARE VENEER BASE, TAPERED BODY. 24" HT. FULL PIECE STONE CAP. REINFORCED CONCRETE FOOTING.
H-09	DECORATIVE WATER FEATURE.
H-10	METAL GUARDRAIL; 42" HT.
H-20	ENTRY SIGN; WOOD STRUCTURE FRAME WITH SIGN PANEL ON STONE BASE WALL. STONE PEDESTAL AT END. SIGN HEIGHT NOT EXCEED 6'-0". DISPLAY AREA OF SIGN NOT EXCEED 15 SQ. FT.
PAVING	
SYMBOL	DESCRIPTION
P-01	ETCHED CONCRETE PAVING 4" THICK REINFORCED CONCRETE FOR PEDESTRIAN TRAFFIC AREA. SAWCUT JOINTS PATTERN. APPLY GRACE TOPCAST SURFACE RETARDER #3 COLOR-VIOLET FOR ETCHING
P-02	STAMPED CONCRETE PAVING. PATTERN AND COLOR TO BE SIMILAR TO THE STONE FINISH ON BUILDING FACADE. 4" THICK REINFORCED CONCRETE FOR PEDESTRIAN TRAFFIC AREA. 6" THICK REINFORCED CONCRETE FOR VEHICULAR TRAFFIC AREA.
P-04	CONCRETE PAVING AT MOTOR COURT DRIVE. REINFORCED STANDARD CONCRETE PAVING FOR VEHICULAR TRAFFIC. LIGHT TOPCAST RETARDED FINISH FOR FIELD, HEAVY TOPCAST RETARDED FINISH FOR BANDING. PAVING SECTION SEE CIVIL DETAIL.
SITE FURNISHINGS	
SYMBOL	DESCRIPTION
S-01	DECORATIVE BENCH WITH BACK. BREAKWATER BENCH WITH BACK 8 FT. POLYESTER POWDER COAT FINISH MATTE BLACK.



PRINTS ISSUED  
 07/12/24 PLANNED UNIT DEVELOPMENT DISTRICT  
 REVISIONS:



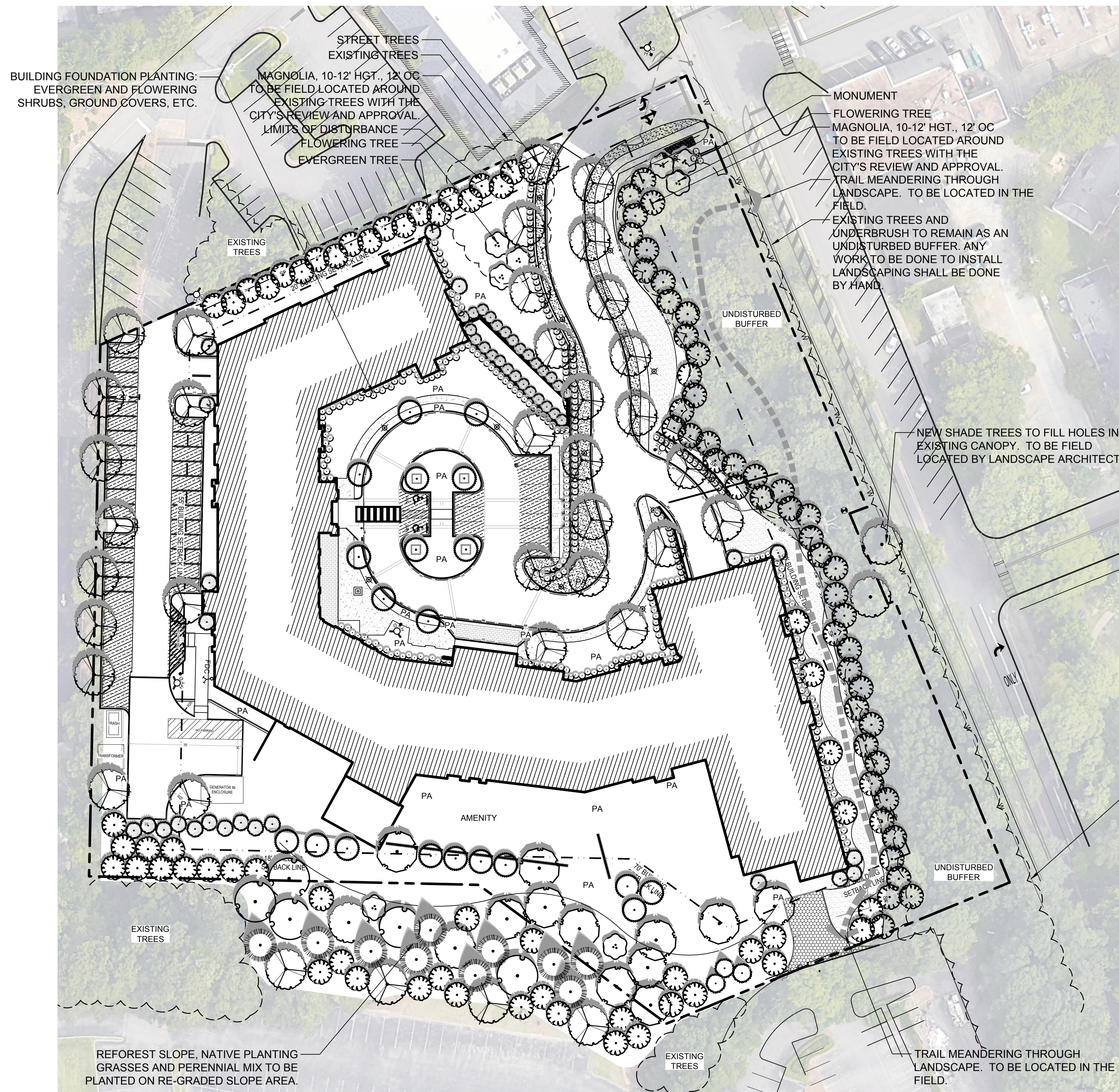
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

MOUNTAIN BROOK SENIOR  
 LIVING  
 PLANNED UNIT DEVELOPMENT  
 DISTRICT  
 2900 CAHABA  
 MOUNTAIN BROOK, AL  
 35223

SHEET TITLE  
 HARDSCAPE PLAN  
 PROJECT NUMBER: 2023-042  
 SHEET NUMBER:

L-1.1

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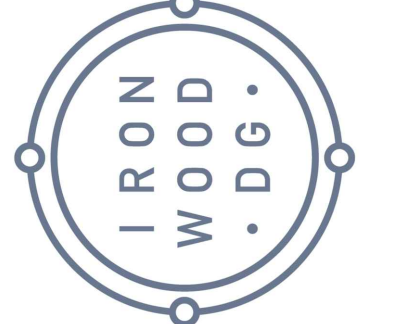
**CONCEPTUAL LANDSCAPE PLAN**  
 TREES ARE FOR ILLUSTRATIVE PURPOSES ONLY  
 DESIGN MAY VARY BASE ON FINAL LANDSCAPE PLAN

**PLANT SCHEDULE**

SYMBOL	COMMON NAME
<b>TREES</b>	
	AMERICAN ELM
	CLAUDIA WANNAMAHER SOUTHERN MAGNOLIA
	EMILY BRUNER HOLLY
	LEGACY SUGAR MAPLE
	OBLOLLY PINE
	HELLIE R. STEVENS HOLLY
	NUTTALL OAK
	OAK LEAF HOLLY
	PYRAMIDAL EUROPEAN HORNBEAM
	RISING SUN REDBUD
	SWEET BAY MAGNOLIA
	WILLOW OAK
<b>SHRUBS</b>	
	DWARF BURFORD HOLLY
	KOREAN BOXWOOD

PRINTS ISSUED  
 07/12/24 PLANNED UNIT DEVELOPMENT DISTRICT

REVISIONS:

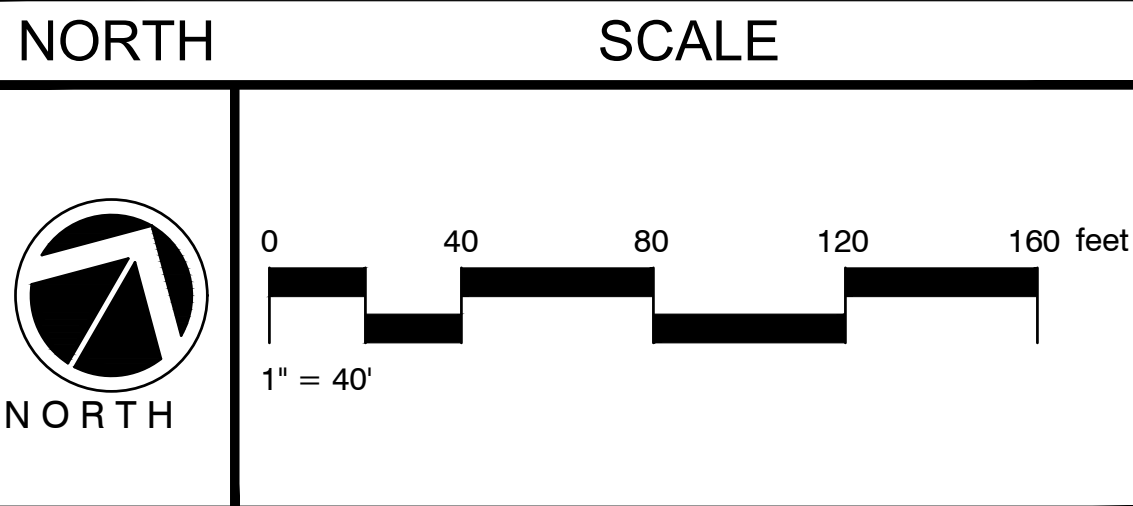


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 CONSTRUCTION**

**MOUNTAIN BROOK SENIOR LIVING**  
 PLANNED UNIT DEVELOPMENT DISTRICT  
 2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

SHEET TITLE  
 CONCEPTUAL LANDSCAPE PLAN  
 PROJECT NUMBER: 2023-042  
 SHEET NUMBER:

**L-10.0**



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## PLANTING MATERIAL INTENTION LIST

### TREES

#### NATIVE PLANTS

ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE  
 AMELANCHIER ARBorea 'AUTUMN BRILLIANCE' / DOWNY SERVICEBERRY  
 BETULA NIGRA / RIVER BIRCH  
 CERCI CANADENSIS 'FOREST PANSY' TM / FOREST PANSY REDBUD  
 CERCI CANADENSIS 'RISING SUN' / RISING SUN REDBUD  
 CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN  
 FAGUS GRANDIFOLIA / AMERICAN BEECH  
 FRAXINUS PENNSYLVANICA / GREEN ASH  
 LIRIODENDRON TULIPIFERA / TULIP POPLAR  
 LIRIODENDRON TULIPIFERA 'ARNOLD' / ARNOLD TULIP POPLAR  
 MAGNOLIA GRANDIFLORA 'ALTA' / ALTA MAGNOLIA  
 MAGNOLIA GRANDIFLORA 'CLAUDIA WANNAMAKER' / CLAUDIA WANNAMAKER SOUTHERN MAGNOLIA  
 MAGNOLIA VIRGINIANA / SWEET BAY MAGNOLIA  
 QUERCUS COCCINEA / SCARLET OAK  
 QUERCUS LYRATA / OVERCUP OAK  
 QUERCUS NUTTALLII / NUTTALL OAK  
 QUERCUS PHELLOS 'KING PIN' / WILLOW OAK  
 ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM

### SHRUBS

#### NATIVE PLANTS

ECHINACEA PURPUREA 'MERLOT' / MERLOT CONEFLOWER  
 HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA  
 ILEX GLABRA 'SHAMROCK' / INKBERRY  
 ILEX GLABRA 'SHAMROCK' / INKBERRY  
 ILEX VOMITORIA 'SCHILLINGS DWARF' / DWARF SCHILLINGS HOLLY  
 ILLICUM PARVIFLORUM / YELLOW ANISE  
 ITEA VIRGINICA / VIRGINIA SWEETSPICE  
 MYRICA CERIFERA / WAX MYRTLE  
 SOLIDAGO SPHACELATA 'GOLDEN FLEECE' / AUTUMN GOLDENROD  
 VACCINIUM CORYMBOSUM 'GEORGIA GEM' / GEORGIA GEM BLUEBERRY

#### NON-NATIVE PLANTS

ACER PALMATUM 'BLOODGOOD' / BLOODGOOD JAPANESE MAPLE  
 ACER PALMATUM 'RED DRAGON' / RED DRAGON JAPANESE MAPLE  
 ACER PALMATUM 'SANGO KAKU' / CORAL BARK MAPLE  
 CARPINUS BETULUS 'FASTIGIATA' / PYRAMIDAL EUROPEAN HORNBEAM  
 CEDRUS DEODARA 'BLUE ICE' / BLUE ICE DEODAR CEDAR  
 CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA  
 GINKGO BILOBA 'FASTIGIATA' / FASTIGIATE MAIDENHAIR TREE  
 ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY  
 ILEX X 'EMILY BRUNER' / EMILY BRUNER HOLLY  
 ILEX X 'OAK LEAF' / OAK LEAF HOLLY  
 LAGERSTROEMIA X 'NATCHEZ' / WHITE CRAPE MYRTLE MULTI-TRUNK  
 LAGERSTROEMIA X 'NATCHEZ' / WHITE CRAPE MYRTLE STANDARD  
 LIGUSTRUM JAPONICUM 'RECURVIFOLIUM' / TREEFORM LIGUSTRUM  
 MAGNOLIA SOULANGIANA 'JANE' / 'JANE' MAGNOLIA  
 MAGNOLIA STELLATA / STAR MAGNOLIA  
 PLATANUS X ACERIFOLIA 'EXCLAMATION' TM / EXCLAMATION LONDON PLANE TREE  
 PRUNUS X YEDOENSIS / YOSHINO CHERRY  
 THUJA OCCIDENTALIS 'DEGROOT'S SPIRE' / DEGROOT'S SPIRE ARBORVITAE  
 THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE  
 THUJA OCCIDENTALIS 'GREEN GIANT' / GREEN GIANT ARBORVITAE  
 ULMUS PARVIFOLIA 'BOSQUE' / BOSQUE ELM  
 ULMUS PARVIFOLIA 'EVERCLEAR' / EVERCLEAR ELM  
 VITEX AGNUS-CASTUS / CHASTE TREE

#### NON-NATIVE PLANTS

ASPIDISTRA ELATIOR / CAST IRON PLANT  
 AZALEA INDICA 'MRS. G.G. GERBING' / MRS. G.G. GERBING AZALEA  
 BUXUS MICROPHYLLA INSULARIS 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD  
 BUXUS MICROPHYLLA KOREANA 'WINTERGREEN' / KOREAN BOXWOOD  
 BUXUS MICROPHYLLA KOREANA 'WINTERGREEN' / KOREAN BOXWOOD  
 BUXUS MICROPHYLLA KOREANA 'WINTERGREEN' / KOREAN BOXWOOD  
 BUXUS MICROPHYLLA KOREANA 'WINTERGREEN' / KOREAN BOXWOOD  
 BUXUS MICROPHYLLA KOREANA 'WINTERGREEN' / KOREAN BOXWOOD  
 CAMELLIA JAPONICA 'WHITE BY THE GATE' / WHITE BY THE GATE CAMELLIA  
 CAMELLIA SASANQUA 'SHISHI GASHIRA' / SHISHI GASHIRA CAMELLIA  
 CAMELLIA SASANQUA 'OCTOBER MAGIC' / OCTOBER MAGIC SASANQUA  
 CEPHALOTAXUS HARRINGTONIA 'FASTIGIATA' / UPRIGHT PLUM YEW  
 DISTYLIUM MYRICOIDES 'BLUE CASCADE' / BLUE CASCADE DISTYLIUM  
 DISTYLIUM X 'EMERALD HEIGHTS' / EMERALD HEIGHTS DISTYLIUM  
 DISTYLIUM X 'EMERALD HEIGHTS' / EMERALD HEIGHTS DISTYLIUM  
 GARDENIA AUGUSTA 'HEAVENLY SCENT' / HEAVENLY SCENT GARDENIA  
 HELIANTHUS X 'HAPPY DAYS' / HAPPY DAYS DWARF SUNFLOWER  
 HYDRANGEA MACROPHYLLA 'BAILMER' TM / ENDLESS SUMMER  
 HYDRANGEA MACROPHYLLA 'TWIST-N-SHOUT' / ENDLESS SUMMER 'TWIST-N-SHOUT'  
 HYDRANGEA PANICULATA 'LIMELIGHT' TM / LIMELIGHT HYDRANGEA  
 HYDRANGEA PANICULATA 'LIMELIGHT' TM / LIMELIGHT HYDRANGEA  
 HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA  
 ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY  
 ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY  
 ILEX CORNUTA 'NEEDLEPOINT' / NEEDLEPOINT HOLLY  
 ILEX CORNUTA 'CARISSA' / CARISSA HOLLY  
 ILEX CORNUTA 'CARISSA' / CARISSA HOLLY  
 LIGUSTRUM JAPONICUM RECURVIFOLIA / RECURVE LIGUSTRUM  
 LIGUSTRUM JAPONICUM RECURVIFOLIA / RECURVE LIGUSTRUM  
 LIGUSTRUM SINENSE 'SUNSHINE' / SUNSHINE LIGUSTRUM  
 LOROPETALUM CHINENSE 'CAROLINA MOONLIGHT' / CAROLINA MOONLIGHT LOROP  
 OSMANTHUS FRAGRANS / SWEET OLIVE  
 PICEA PUNGENS GLAUCA 'GLOBOSA NANA' / DWARF GLOBE BLUE SPRUCE  
 PODOCARPUS MACROPHYLLUS 'MAKI' / MAKI SHRUBBY YEW  
 PODOCARPUS MACROPHYLLUS 'MAKI' / MAKI SHRUBBY YEW  
 ROSA X 'DOUBLE KNOCKOUT' / DOUBLE KNOCKOUT ROSE  
 ROSA X 'RADTKOPINK' / PINK DOUBLE KNOCK OUT ROSE  
 ROSA X 'RADWHITE' / WHITE OUT ROSE  
 SPIRAEA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA  
 SPIRAEA PRUNIFOLIA 'BRIDALWREATH' / BRIDAL WREATH SPIREA  
 TERNSTROEMIA GYMNANTHERA / CLEYERA  
 VIBURNUM AWABUKI 'CHINDO' / CHINDO VIBURNUM  
 VIBURNUM PLICATUM TOMENTOSUM 'SHASTA' / SHASTA VIBURNUM

#### NON-NATIVE PLANTS

CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS  
 EQUISETUM HYEMALE / HORSETAIL REED GRASS  
 MISCANTHUS SINENSIS 'MORNING LIGHT' / MORNING LIGHT MISCANTHUS GRASS

#### NON-NATIVE PLANTS

BUDDLEIA DAVIDII 'BLUE CHIP' / DWARF BUTTERFLY BUSH  
 DRYOPTERIS ERYTHROSORA / AUTUMN FERN  
 HEMEROCALLIS X 'BUTTERED POPCORN' / DAYLILY 'BUTTERED POPCORN'  
 HEUCHERA X 'CITRONELLE' / YELLOW CORAL BELLS  
 HOSTA X 'BLUE ANGEL' / HOSTA 'BLUE ANGEL'  
 HOSTA X 'FRANCES WILLIAMS' / HOSTA 'FRANCES WILLIAMS'  
 HOSTA X 'GUACAMOLE' / HOSTA 'GUACAMOLE'  
 IRIS ENSATA 'VARIEGATA' / VARIEGATED JAPANESE IRIS

#### NON-NATIVE PLANTS

CLEMATIS ARMANDII / EVERGREEN CLEMATIS  
 FICUS PUMILA / CREEPING FIG  
 HYDRANGEA ANOMALA PETIOLARIS / CLIMBING HYDRANGEA  
 ROSA BANKSIAE / LADY BANKS ROSE  
 ROSA BANKSIAE 'ALBA PLENA' / WHITE LADY BANK'S ROSE  
 TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' / CONFEDERATE JASMINE

#### NON-NATIVE PLANTS

CALAMINTHA NEPETA 'MONTROSE WHITE' / WHITE CATMINT  
 LIRIOPE MUSCARI 'SPICATA' / CREEPING LILYTURF  
 LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILY TURF  
 LYSIMACHIA NUMMULARIA 'AUREA' / GOLDEN CREEPING JENNY  
 NARCISSUS X 'THALIA' / THALIA DAFFODIL  
 NASSELLA TENUISSIMA 'PONY TAILS' / MEXICAN FEATHERGRASS  
 NEPETA X FAASSENII 'WALKER'S LOW' / WALKER'S LOW CATMINT  
 OPHIOPOGON JAPONICUS / MONDO GRASS  
 PACHYSANDRA TERMINALIS / JAPANESE SPURGE  
 PERENNIAL MIX MIXED / PERENNIAL COLOR MIX  
 STACHYS BYZANTINA 'BIG EARS' / LAMB'S EAR  
 TRACHELOSPERMUM ASIATICUM / STAR JASMINE  
 ZOYSIA X 'ZEON' / ZEON ZOYSIA

### TREE PROTECTION OF EXISTING TREES TO BE SAVED

- TREE SAVE FENCE AND SIGNAGE FOR ENTIRE SITE MUST BE INSTALLED, INSPECTED AND APPROVED PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES. NO LAND DISTURBANCE OR DEMOLITION IS ALLOWED BEFORE THIS INSPECTION AND APPROVAL HAS OCCURRED.
- TREE SAVE FENCE TO BE 6' CHAIN LINK.
- THE CRZ OF SPECIMEN TREES PLUS ALL BUFFERS SHALL BE PROTECTED WITH TREE SAVE FENCING TREE SAVE SIGNAGE.
- INSTALLATION OF THE TREE SAVE FENCE WILL INVOLVE NO TRENCHING.
- ALL EXISTING TREES IDENTIFIED FOR PRESERVATION OR FOUND WITHIN TREE SAVE AREAS MUST BE FULLY PROTECTED DURING ALL PHASES OF THIS PROJECT.
- ACTIVITIES WITHIN THE TREE PROTECTION AREA ARE NOT PERMITTED, INCLUDING STAGING OF MATERIALS, PARKING, PEDESTRIAN ACCESS, ETC, UNLESS SPECIFICALLY NOTED.
- \$5,000 FINE TO GENERAL CONTRACTOR FOR ANY UNAUTHORIZED WORK IN TREE SAVE AREA.

### PRUNING

- ROOT PRUNING SHALL BE DONE PRIOR TO THE COMMENCEMENT OF EARTHWORK IN THE VICINITY OF IMPACTED TREES.
- THE LINE OF ROOT PRUNING SHALL BE CLEARLY FLAGGED AND NO EQUIPMENT SHALL ENTER THE AREA WITHIN THE PRUNING LINE.
- WHENEVER POSSIBLE, PRUNING OF A SINGLE TREE SHALL BE DONE SEQUENTIALLY (ONE QUADRANT PER EACH 10-14 DAYS), INSTEAD OF PRUNING THE CIRCUMFERENCE, OR A MAJOR SEGMENT THEREOF, IN A SINGLE OPERATION.
- TOOLS
  - ALL PRUNING SHALL BE DONE WITH A SHARP BLADE OR PRUNING SHEARS WITH A MINIMUM OF DISTURBANCE TO THE EARTH SURROUNDING THE ROOT TO REMAINS
  - NO BULLDOZER CUTS SHALL BE MADE IN THE VICINITY OF A TREE PRIOR TO ROOT PRUNING.
  - NO EARTHWORK SHALL BE DONE WITHIN SIX FEET OF THE DRIP LINE OF A TREE PRIOR TO ROOT PRUNING
- ANY LIMBS OVERHANGING THE LOD THAT MAY BE RIPPED, TORN, OR DAMAGED DURING CONSTRUCTION SHALL BE PROPERLY PRUNED UNDER THE DIRECTION OF AN ISA CERTIFIED ARBORIST.

### MAINTENANCE

- A MAINTENANCE PROGRAM SHALL BE INSTITUTED FOR IMPACTED EXISTING TREES AS DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE VEGETATION AND REMOVE TRASH AND DEBRIS AROUND THE PERIMETER OF THE PROJECT, EVEN IF WITHIN THE PUBLIC ROW

### WORK WITHIN TREE SAVE

- CLEARING AND GRUBBING ARE TO BE DONE BY HAND. SMALL SKID STEER WITH TRACKS ARE TO BE ALLOWED WHEN NEEDED FOR TREE REMOVAL IN TREE SAVE AREA. THIS WORK SHALL ONLY BE DONE BY OWNERS ARBORIST OR LANDSCAPE CONTRACTOR.
- SIDEWALKS INSIDE TREE SAVE, OR INDICATED BY LANDSCAPE ARCHITECT, ARE TO BE PLACED ON EXISTING GRADES AND BACKFILLED WITH CLEAN TOPSOIL.
- ANY GRADING DONE IN TREE SAVE AREA ARE TO BE DONE BY HAND OR WITH A SMALL SKID STEER WITH TRACKS BY LANDSCAPE CONTRACTOR. NO GRADES TO BE CUT. LANDSCAPE CONTRACTOR CAN ONLY ADD TOPSOIL TO SMOOTH EXISTING GRADES (MAX. 4"-6").
- NO SOIL TO BE PLACED WITHIN 60" OF THE ROOTFLARE OF A SAVED TREE.
- SUPPLEMENTARY PLANTING SHALL BE DONE WITH PLANTS AS REPRESENTED AND AS SHOWN ON APPROVED LANDSCAPE PLAN.
- SUPPLEMENTAL PLANTINGS SHALL BE FIELD ADJUSTED AS TO NOT IMPACT ROOTS OF EXISTING SAVED TREES.

### GRASSES

#### NATIVE PLANTS

MUHLENBERGIA CAPILLARIS / PINK MUHLY  
 MUHLENBERGIA CAPILLARIS / WHITE MUHLY GRASS  
 PANICUM VIRGATUM 'HEAVY METAL' / BLUE SWITCH GRASS  
 PANICUM VIRGATUM 'SHENANDOAH' / SWITCH GRASS

### PERENNIALS

#### NATIVE PLANTS

ASTER NOVAE-ANGLIAE 'HELLA LACY' / HELLA LACY NEW ENGLAND ASTER  
 COREOPSIS X 'MOONBEAM' / MOONBEAM COREOPSIS  
 ECHINACEA PURPUREA 'MERLOT' / MERLOT CONEFLOWER  
 GAURA LINDHEIMERI 'SO WHITE' / SO WHITE GAURA  
 LEUCANTHEMUM X SUPERBUM 'BECKY' / SHASTA DAISY  
 STOKESIA LAEVIS / STOKES' ASTER

### VINE/ESPALIER

#### NATIVE PLANTS

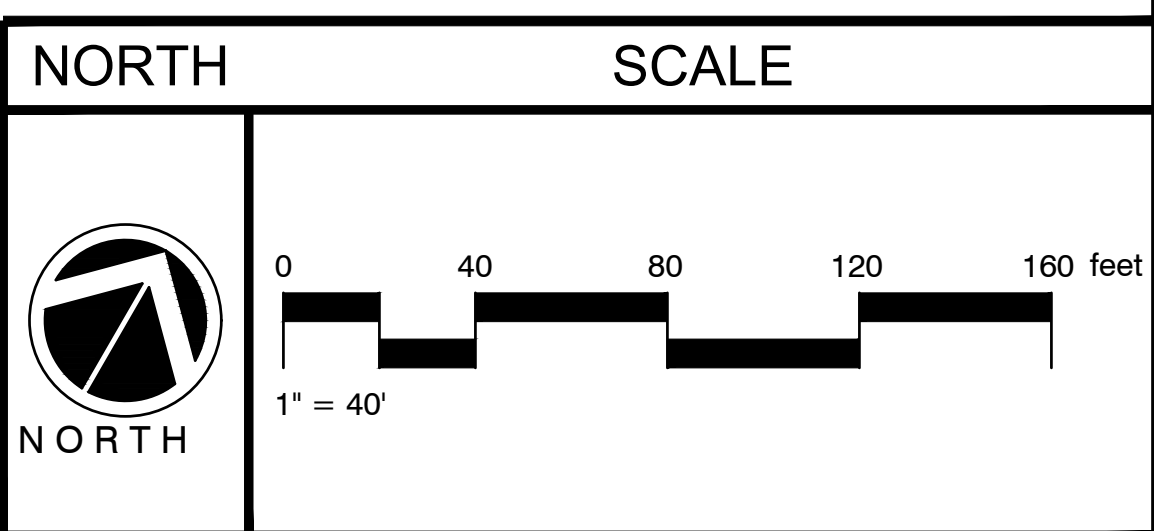
GELOSEMIUM SEMPERVIRENS / CAROLINA JESSAMINE

### GROUND COVERS

#### NATIVE PLANTS

ANNUAL COLOR MIXED / ANNUAL COLOR  
 CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS  
 ERAGROSTIS SPECTABILIS / PURPLE LOVEGRASS

TREES ARE FOR ILLUSTRATIVE PURPOSES ONLY  
 DESIGN MAY VARY BASE ON FINAL LANDSCAPE PLAN



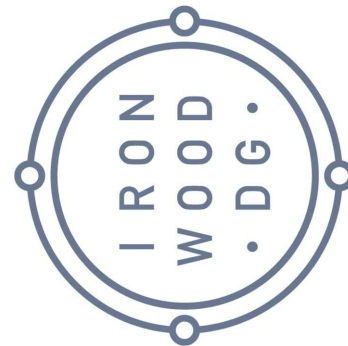
### PRINTS ISSUED

07/12/24 PLANNED UNIT DEVELOPMENT DISTRICT

### REVISIONS:

**DOMINION**  
PARTNERS

**IRONWOOD DESIGN GROUP**  
 ironwooddg.com | Phone: 661.696.8886  
 Planning | LEED Consulting | Urban Design  
 Project Management | Landscape Architecture



**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

**MOUNTAIN BROOK SENIOR LIVING**  
 PLANNED UNIT DEVELOPMENT DISTRICT

2900 CAHABA RD  
 MOUNTAIN BROOK, AL 35223

### SHEET TITLE

CONCEPTUAL LANDSCAPE PLAN

PROJECT NUMBER: 2023-042

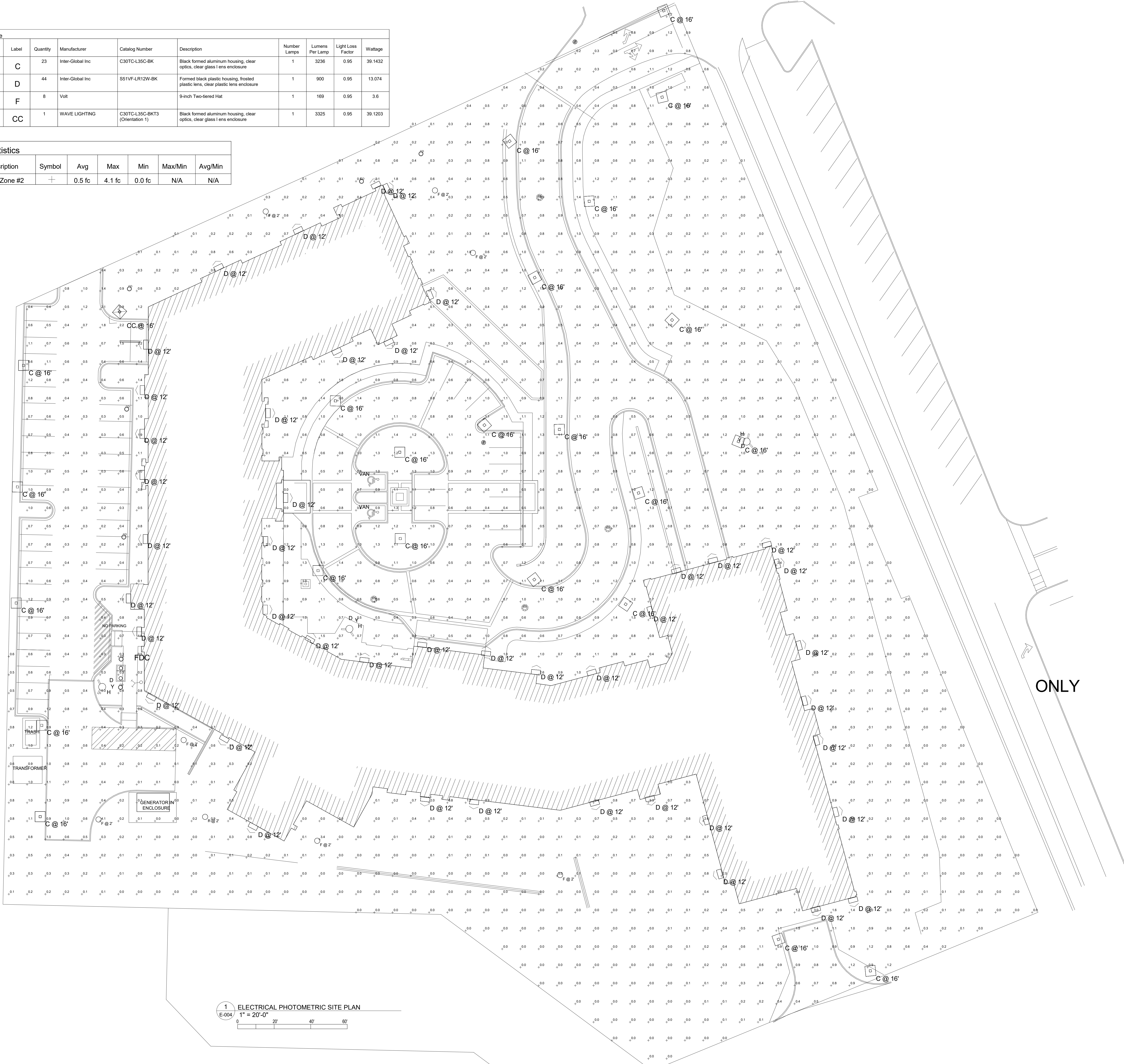
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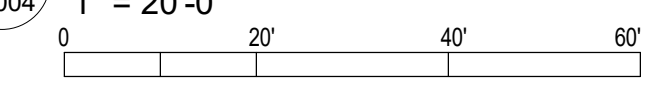


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	C	23	Inter-Global Inc	C30TC-L35C-BK	Black formed aluminum housing, clear optics, clear glass lens enclosure	1	3236	0.95	39.1432
	D	44	Inter-Global Inc	S51VF-LR12W-BK	Formed black plastic housing, frosted plastic lens, clear plastic lens enclosure	1	900	0.95	13.074
	F	8	Volt		9-inch Two-tiered Hat	1	169	0.95	3.6
	CC	1	WAVE LIGHTING	C30TC-L35C-BKT3 (Orientation 1)	Black formed aluminum housing, clear optics, clear glass lens enclosure	1	3325	0.95	39.1203

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.5 fc	4.1 fc	0.0 fc	N/A	N/A



1 ELECTRICAL PHOTOMETRIC SITE PLAN  
E-004  
1" = 20'-0"



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# 3-D Renderings



6 MOTOR COURT PERSPECTIVE



5 SOUTHWEST PERSPECTIVE



4 SOUTHEAST PERSPECTIVE



3 EAST PERSPECTIVE

NOTE: TREES REMOVED FOR CLARITY



2 CAHABA ROAD APPROACH



1 OVERALL BUILDING AXON

**DOMINION**  
PARTNERS

**rosemann & ASSOCIATES P.C.**  
ARCHITECTURE  
INTERIOR DESIGN  
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**MOUNTAIN BROOK SENIOR LIVING**  
PLANNED UNIT DEVELOPMENT  
2900 CAHABA RD  
MOUNTAIN BROOK, AL 35223

SHEET TITLE  
ENTITLEMENT PERSPECTIVES

PROJECT NUMBER: 22050

SHEET NUMBER:

**A3.0**

NOTE: TREES REMOVED FOR CLARITY



NORTH WEST AL MC ELEVATION



WEST AL MC ELEVATION



SOUTH WEST BACK OF HOUSE ELEVATION

NOTE: TREES REMOVED FOR CLARITY



SOUTH WEST BACK OF HOUSE ELEVATION



SOUTH ELEVATION



SOUTH IL WING ELEVATION

NOTE: TREES REMOVED FOR CLARITY



EAST IL WING ELEVATION



AL MC ENTRY ELEVATION



IL GARAGE ENTRY ELEVATION

DOMINION  
PARTNERS

rosemann  
& ASSOCIATES P.C.

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MOUNTAIN BROOK SENIOR LIVING  
PLANNED UNIT DEVELOPMENT  
2900 CAHABA RD  
MOUNTAIN BROOK, AL 35223

SHEET TITLE  
VICINITY MAP

PROJECT NUMBER: 22050

SHEET NUMBER:

GO.0

# **Comparative Zoning Analysis**

**Multifamily Zoning (Village Overlay - Stacked Flats Building Type; Residence G)**

	<b>BASE ZONING DISTRICT</b>	<b>PROPOSED PLAN</b>	<b>CAUSE OF DEVIATION</b>
<b>Purpose</b>	(a)General purposes. The village overlay standards are designed to:(1)Implement the village master plans, officially recommended by the planning commission as part of the overall master plan for the City of Mountain Brook and promote the health, safety, morals and general welfare of the community.(2)Provide for the kind, character and use of structures and improvements that may be erected or made within the villages, to promote and preserve the unique character and encourage pedestrian use of each of the villages.(3)Regulate the erection, construction, reconstruction, alteration, repair or use of buildings, structures or land subject to the standards, in conformance with the village master plan.(4)To permit differences in the height, mass, scale, design, type, and uses of buildings subject to the standards based on the relationship of sites to specific public streets, open spaces, and to surrounding parcels.(5)To allow coordinated development in the villages according to a comprehensive master plan that best complements the design and investment by the city in streets, open space and other public infrastructure.	Complies	None
<b>Permitted Uses</b>	The uses permitted in the Residence G District shall be stacked flat dwelling units. (Ord. No. 1765, § 1(19-30-2), 2-25-2008)	Complies	None
<b>Area and Dimensional Requirements</b>	The maximum allowable density for the Residence G District shall be 12 units per acre per floor.  All other lot and building standards shall be as specified in the village overlay standards, or where the Residence G District is used in conjunction with a PUD plan, the lot and building standards shall be based upon those specified in the village overlay standards and modified only as specifically identified in the approved PUD plan.  (Ord. No. 1765, § 1(19-30-3), 2-25-2008)	Complies	None
<b>Additional Requirements</b>			
<b>Service Yards</b>	Each building erected in a Residence G District shall be provided with a service yard for the storage of garbage, trash and maintenance equipment. Each such yard shall be located so as to be conveniently accessible by a street, alley or driveway to vehicles collecting such refuse and to occupants of the building or buildings served by such yard. Each such yard shall be paved with asphalt or concrete and shall be enclosed by an opaque wall or fence of permanent construction, at least six feet, but not more than eight feet, in height, and designed and constructed so as to conceal the service yard from visibility from outside such wall or fence. The entrance to the service yard shall be screened by a gate constructed of an opaque material, which gate must be at least six feet, but not more than eight feet, in height.	Complies	None
<b>Sidewalks</b>	Sidewalks of not less than five feet in width shall be provided between any parking area and the building or buildings which they serve, and there shall be a curb between all parking areas and any adjacent sidewalk.	Complies	None

**Multifamily Zoning (Village Overlay - Stacked Flats Building Type; Residence G)**

	<b>BASE ZONING DISTRICT</b>	<b>PROPOSED PLAN</b>	<b>CAUSE OF DEVIATION</b>
<b>Exterior Lighting</b>	If artificial illumination is provided for a parking area, it shall be arranged so as to shine and reflect away from any adjacent residential areas and away from any streets adjacent to or near the parcel. No lighting fixtures used for any parking area shall be elevated more than 14 feet above the ground, except for a light which is installed on the ceiling of a porch of a dwelling unit and is designed to illuminate only such porch. Each lighting fixture shall be designed and installed so as to direct its beam of light below the horizontal plane of such lighting fixture.	Complies	None
<b>Development Plan</b>	Any rezoning proposal for the Residence G District shall submit a development plan in conformity with section 129-234 of this Code demonstrating compliance with all site and building standards of this district, the applicable overlay standards, and conformance with the village master plan and design guidelines.	Complies	None
<b>Stacked Flats building type</b>			
<b>Site Specifications</b>			
<b>Required lot width</b>	60' minimum	Complies	None
<b>Minimum lot depth</b>	100'	Complies	None
<b>Required front building line</b>	<i>Between 22' &amp; 26'</i>	Does not comply	Due to limited street frontage and topography, the buildings are best sited interior to the site and not addressing the street.
<b>Front entrance extensions</b>	An enhanced front entry may extend up to 8' beyond the constructed front building line of the building provided: (a) it occupies no more than 60% of the front façade (b) it remains unenclosed, with no fixed windows or screens. © any roof structure on or associated with is up to one and one-half stories; and (d) it is designed as an extension of the primary building using the same foundation, building materials, architectural styles, and ornamentation as the primary building.	Does not comply	Due to limited street frontage and topography, the buildings are best sited interior to the site and not addressing the street.
<b>Street Wall</b>	between 65% and 100% of the street facing façade length	Does not comply	Due to limited street frontage and topography, the buildings are best sited interior to the site and not addressing the street.
<b>Minimum Side Setback</b>	10% of the lot width or 10', whichever is less; except that 15' shall be required if more than 50% of the side lot line abuts a lot zoned for, or having and existing lower intensity residential use.	Complies	None
<b>Minimum Rear Setback</b>	20'	Complies	None

**Multifamily Zoning (Village Overlay - Stacked Flats Building Type; Residence G)**

	BASE ZONING DISTRICT	PROPOSED PLAN	CAUSE OF DEVIATION
Maximum lot coverage (footprint)	60% reduced by an additional Open Space requirement by Section 129-554 for residential uses.	Complies	None
Site access (vehicles)	Vehicle access limited according to street frontage type and as further specified in Section 129-555 (d) (1)Primary frontages. Vehicle access is prohibited except for one mid-block shared access area providing access to multiple lots within the block, and not to exceed 20 feet in width. All other vehicle access to individual lots shall be via alleys or off secondary, access, or support streets identified in the master plan.	Shared access drive, not does not comply with overlay requirements	Exceeds 20' max. width to accommodate a three-lane configuration
<b>Mass and Height Specifications</b>			
Maximum Height (external)	3-story: 36' to eaves/cornices plus roof structure (actual permitted stories for individual sites is controlled by the applicable Building and Development Regulating Plan)	Does not comply	To accommodate site conditions and program requirements, a single structure solution is most efficient. This requires 5-stories and 90'-0" in height
Required Ground Floor Elevation	1.5' to 4' above grade at front building line	Does not comply	due top program, all entries must be accessible and at grade
1st story height	10' to 15'	Complies	None
Upper story heights (internal)	10' to 15'	Complies	None
Roof Structure heights	Steep Pitch (14:12 to 20:12) 16' maximum provided that no building shall exceed 46 feet in height Pitched roof structures may have additional floor areas which may be occupied without counting towards the story maximum for purposes of the applicable building and development regulating plan, provided the additional floor area is: (a) associated with and accessory to the floor area of the top story and (b) limited so that the areas with clear ceiling height of 7'-0" or more is no more than 50% of the floor area of the story immediately below.	Does not comply	Proposal complies with steep slope requirements, due to overall structure size, our roof structure height far exceeds the typical anticipated condition.
<b>Façade Specifications</b>			
First Story Transparency	15-40%	Complies	None
Upper Story Transparency	15-40%	Complies	None
Primary Entrance	1 Enhanced Primary Entrance for each building	Complies	None
Bays	Differentiated bays are required a minimum of every 25' and a maximum of every 50'	Complies	None
Façade Projections	Bay windows and balconies may extend up to 5' from the façade	Complies	None
Building height exceptions	(2)Ornamental features. A height exception may be permitted for ornamental features on all buildings where such features do not exceed an additional six feet in height and where said feature is limited to the following: spires, chimneys, chimney pots, flag poles, and weather vanes.	Does not comply	Due to overall structure size, our roof structure height far exceeds the typical anticipated condition. Consequently, the architectural features that exceed that height are also scaled proportionally to the roof mass.



**Multifamily Zoning (Village Overlay - Stacked Flats Building Type; Residence G)**

	<b>BASE ZONING DISTRICT</b>	<b>PROPOSED PLAN</b>	<b>CAUSE OF DEVIATION</b>
<b>Open Space Standards</b>	Standards. Lots shall contain public or quasi-public open space in addition to open space created implicitly by the operation of setbacks, maximum lot coverage or other building regulations. The required open space shall be based upon the type of use and building type and mass based upon the following table. The required open space shall be in addition to any required setbacks for the lot and building type, and must occur within the otherwise allowable building footprint. Open space required for townhouse or stacked flat building types may be located at any location within the otherwise allowable building footprint. Open space must be functional and should utilize the design guidelines for open space in the village master plans, but may not consist of parking areas, service areas or site utility areas. [refer to section 5.4, Open Space Design, of the Design Guidelines of the Village Master Plan for specific strategies for open space design]. Residential Uses require 100sf of open space per dwelling unit.	Does not comply	Complies as program use allows. For safety reasons, some resident dwelling will not have access to balcony or ground level patio conditions.
<b>Parking, vehicle, and pedestrian access standards</b>			
<b>Required parking</b>	By base zoning regulations (Residence G) (1)Minimum offstreet parking per dwelling unit: Two spaces. a.Exception: Projects over 20 dwelling units, and which may have a substantial mix of dwelling units which could be designed for families with fewer than two vehicles may propose an alternative parking ratio. The proposal for a reduced rate shall be based on demonstrated and convincing market and demographic data regarding the parking demand per each dwelling type included in the mix. Approval of an alternative ratio is in the sole discretion of the city council, based on a recommendation of the planning commission.(2)Visitor and accessory parking shall be provided based on the following: Eleven or more units: Five spaces plus one-fourth additional parking space for each unit over ten;  (3)Any offstreet surface parking, interior parking or parking structures for the dwelling units and for visitor or accessory parking shall meet the parking design and vehicle access limitations of the village overlay standards.	Complies	None
<b>Vehicle access limitations</b>	Vehicle access to all lots subject to the village overlay standards shall be limited according to frontage type indicated on the applicable building and development regulating plan based upon the following standards:(1)Primary frontages. Vehicle access is prohibited except for one mid-block shared access area providing access to multiple lots within the block, and not to exceed 20 feet in width. All other vehicle access to individual lots shall be via alleys or off secondary, access, or support streets identified in the master plan.	Complies	None
<b>Sidewalk standards</b>	Any development fronting on streets that do not currently have sidewalks shall include sidewalks in association with the site development according to the following:(1)Sidewalks on primary village street designated in the Circulation and Urban Design Plan of the Village Master Plan, adopted June 2007, shall be between eight-foot and 12-foot wide.	Complies	None
<b>Material specifications</b>		See Pattern Book	

# Pattern Book

## English Tudor Style



## ***The English Tudor Revival Style:***

English Tudor Revival Style- Tudor Revival architecture first manifested itself in domestic architecture in the United Kingdom in the latter half of the 19th century. Based on revival of aspects that were perceived as Tudor architecture, in reality it usually took the style of English vernacular architecture of the Middle Ages that had survived into the Tudor period. The style later became an influence elsewhere, especially the British colonies. It was associated with the Arts and Crafts movement.

Largely forgotten for three centuries, the Tudor style reappeared in the United States in the early 1900s but built using the same wood-framing methods used to construct other homes of the era. Americans embraced the Tudor style, building new homes that blended some of the old-world design elements with modern home-building techniques. The Tudor Revival Style has many alternate labels: Elizabethan, Jacobean, Queene Anne & Cotswold.

Cousins of the Stick-style house, Tudor Revivals eschewed authentic half-timber construction and often featured brick or stone walls on the first story, and upper floors that were stud-framed and covered with a veneer of stucco and decorative faux timbers. Cross gables were commonly included in the plans, as were typically Tudor features like steep rooflines and gabled windows with leaded-glass mullions. The traditional thatched roof, however, was replaced by slate. They typically had clustered chimney stacks of stone and brick. Interiors incorporated such Tudor-style elements as decorative beamed ceilings, arched doorways, plaster walls, and detailed wooden staircase.



## Common Characteristics:

- Decorative Half-Timbering
- Use of Mixed Building Materials
- Large Groupings of Windows
- Attention to Detail in the Entrance
- Steeply pitched roofs and multiple gables.
- Two or three stories high.
- Rectangular design.
- Half-timbered exterior façade used in conjunction with stucco, detailed panelling, and decorative brickwork.
- Cantilevered (overhanging) second story extending over a large porch.
- Tall windows with multiple square- or diamond-shaped panes; some are leaded glass.
- Tall ornate brick chimneys.
- Chunky metal door hardware that lends a Medieval look.
- Earth-tone cladding colors (tan, brown, buff).
- Asymmetrical floor plans.
- Interiors with (faux) exposed ceiling beams overhead.
- Oversized, stained wood detailing, including wainscoting and trim.
- Jetties, or overhangs formed when the second floor extends beyond the dimensions of the first (a feature made popular in cities where the first-floor footprint was limited by the street outside.)



## ***The English Tudor Revival Style:***

### ***Key Exterior Elements:***

- Low pitched, gabled secondary roof forms (occasionally hipped) with wide unenclosed eave overhang
- Exposed roof rafter tails
- Simplified decorative beams or brackets under gables
- One and half stories for entry porches and secondary volumes
- Horizontal shape
- Porch with thick square or tapered columns
- Porch support bases extending to ground level
- Wall Cladding typically wood (Fiber Cement modern equivalent), stone, or stucco
- Chimney expressed on the exterior wall
- Exposed gutters and downspouts
- Earth-tone exterior paint and stain colors



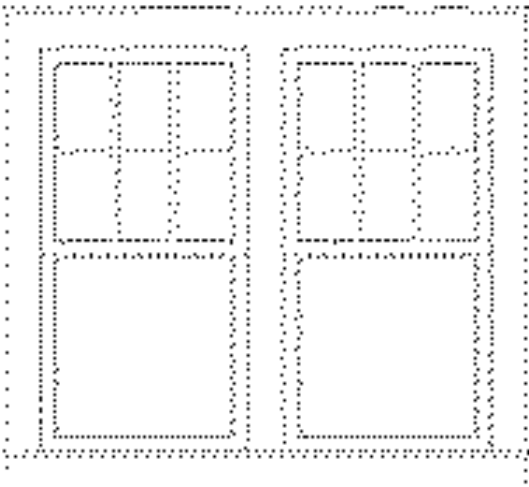








*Organic*



*Median*



*Refined*





*Organic*



*Median*



*Refined*

*The English Tudor Revival Style:*

*Exterior Porches and Brackets*



*The English Tudor Revival Style:*

*Exterior Lighting*



# **Appendix A**

Owner Written Statement

Owner Authorization Statement

I, Ladd Tucker, member of MTB Office Park, LLC, which is the owner of 2900 Cahaba Rd, Mountain Brook, AL 35233 (Parcel ID Number 28 00 08 3 008 012.002) am requesting application for Rezoning from Local Business to PUD approval for the development of an assisted living facility.



\_\_\_\_\_ dated 10/13/2023\_\_\_\_\_

Ladd Tucker, Member

MTB Office Park, LLC

I, Ladd Tucker, member of MTB Office Park, LLC, which is the owner of 2900 Cahaba Rd, Mountain Brook, AL 35233 (Parcel ID Number 28 00 08 3 008 012.002) am providing written authorization for Dominion Senior Living of Birmingham, LLC to act as agent for the property.



\_\_\_\_\_ dated 10/13/2023 \_\_\_\_\_

Ladd Tucker, Member

MTB Office Park, LLC

## **Appendix B**

### **Sec. 129-265**

Procedure or Application for a Planned Unit  
Development District

### **Sec 129-433**

Basic Requirements for Application for Rezoning

## Sec. 129-264. Area and dimensional requirements.

- (a) *Spacing and setbacks of buildings and structures.* The spacing, height and setback of buildings and structures, and the required parking and parking design requirements associated therewith, shall generally meet the standards of the applicable base zoning district(s) included in the master site plan. Modification from these requirements may be made through the proposed master development plan. The planning commission may recommend and the city council may approve arrangements that better meet the purposes of this district, the city master plan, or any applicable village master plan. Required parking for master development plans for property located in the Highway 280 gateways may utilize the provisions under subsection 129-555(b)(3).

**A. See development plan sheet C100 on page 17**

- (b) *Density.* The permitted number of dwelling units and building intensity in a PUD may not exceed the number which would otherwise be allowed in the base zoning district(s) which are used as a basis for the master development plan, though the city council may approve other densities that better meet the purposes of this district and any specific policies and goals of the city master plan and any applicable village master plan. In this regard, the PUD application shall be considered similar to a rezoning request to all of the districts that make up the basis of the master development plan. The burden of proof shall be on the developer to show that existing or proposed facilities and utilities can handle the requested intensity of development.

**A. 162 units on 4.90 acres on 4 floors = 8.27 units per floor per acre, See project narrative page 5.**

- (c) *Property development standards.* Property development standards for a PUD shall be determined by the city council after receiving recommendations from the planning commission. The development of the PUD must be compatible with the topography of the parcel and must preserve any unusual topographic or natural features of the parcel. The development shall not adversely affect the developed or undeveloped property in the vicinity of the PUD, and the development must be compatible with such other property with regard to density, size of buildings, architectural style and type of use. The city council's determination as to whether the proposed development of the PUD is compatible with the neighboring properties with regard to the forgoing criteria shall be presumptively correct. Adequate water, sewer, streets, open spaces and other facilities and utilities must be available for the proposed PUD or there must be a definite proposal for making them available at the expense of a party other than the city. Depending upon the density of the proposed PUD and the type of uses proposed for the PUD, the city council may require such building setbacks for any front yards, side yards, or back yards, along with such buffers, walls, hedges, shrubs, trees, and other designed transitions as the city council deems necessary and appropriate for the preservation of the character of the other property in the vicinity of the PUD. The city council may impose such reasonable conditions, terms or limitations which it finds necessary or helpful for the protection and promotion of the public health, safety, morals and welfare of the city.

**A. See development plan sheet C100 on page 17 and Zoning analysis page 26**

- (d) *Other regulations.* All applicable regulations provided for elsewhere in this chapter, including minimum parking requirements and density standards, shall be in force except where the matters covered by such regulations are specifically addressed in this article.

**A. See development plan sheet C100 on page 17 and Zoning analysis page 26**

- (e) *Master development plan.* The proposed master development plan ("proposed plan") shall include the following information: **A. See development plan sheet C100 on page 17**

- (1) The location and size of the parcel to be developed as a PUD, including its legal description and a current perimeter survey prepared and certified by a surveyor who is licensed as a surveyor by the state. The survey must show all streets which are adjacent to the parcel, all easements and rights-of-



- way on the parcel and the location of any existing buildings or other structures which shall be a part of the PUD. [A. See Development plan on sheet C100 on page 17 survey and legal description sheet C200 on page 18](#)
- (2) A vicinity map showing the parcel in relation to surrounding property and a general description of the surrounding area, including the current zoning and land uses of the surrounding area. [A. See G0.0 on page 10](#)
  - (3) A statement of the planning objectives to be achieved by the PUD. The statement should include a description of the proposed development and the rationale behind the assumptions and projections made by the applicant. [A. See architectural narrative on page 09](#)
  - (4) The density of land use to be allocated to all parts of the PUD site, together with tabulations by acreage and percentage of the parcel to be occupied by each proposed use. [A. See development plan sheet C100 on page 17](#)
  - (5) The location, size, and character of all buildings, including identification of the base zoning district related thereto and contemplated use(s) of the building. If any proposed building does not meet the standards of the base zoning district associated with it, a description of the specific standards which are not met by the proposed building, a description of the deviations from those standards and the reasons why the deviations are necessary must be provided.
  - (6) The location, size and character of any common open space or any commonly owned facilities and the type or organization which will own and maintain any commonly owned open space or facilities. [A. See conceptual landscape plans \(L1.1 & L8.1 \) on page 21-22](#)
  - (7) The number, location and layout of parking spaces and attendant driveways and other areas necessary for the maneuvering of motor vehicles. [A. See conceptual landscape plans \(L1.1 & L8.1 \) on page 21-22](#)
  - (8) Means of access to and from the PUD site. [A. See development plan sheet C100 on page 17](#)
  - (9) Location and dimensions of any service yards. [A. See development plan sheet C100 on page 17](#)
  - (10) A landscaping plan. [A. See conceptual landscape plans \(L1.1 & L8.1 \) on page 21-22](#)
  - (11) The outside appearance of any proposed buildings. [A. See elevations \(pages 14-16 \) and renderings \(pages 24-25\)](#)
  - (12) Any signs for any proposed buildings. [A. See conceptual landscape plans \(L1.1 & L8.1 \) on page 21-22](#)
  - (13) Materials with which parking areas, driveways and sidewalks will be covered. [A. See development plan sheet C100 on page 17](#)
  - (14) Storm drainage facilities. [A. See G&D sheet C300 on page 20](#)
  - (15) Plans for providing utilities. [A. See G&D sheet C300 on page 20](#)
  - (16) A computerized or physical three-dimensional scale model of the proposed site and all buildings showing the scale, massing, and relationship of the buildings to the site and topography, to streetscapes, to open spaces, and to adjacent properties from all relevant perspectives and showing all relevant dimensions. The applicant may submit the model in electronic format if the most recent version of Sketch-Up is used, otherwise, the application shall provide perspectives from all relevant angles and at least one for each side of the buildings. Where applications include multiple similar buildings, one scale model for each similar building type may be submitted, provided all occurrences of the building type have a similar relationship to the site and topography, streetscapes, open spaces, and adjacent sites as depicted in the model. [A. See 3-D renderings \(pages 24-25\)](#)
  - (17) The substance of covenants, easements or other restrictions which will be imposed upon the use of the parcel, the buildings and other structures. [A. None Proposed](#)
  - (18) All plans shall be prepared at the scale of one inch equals 40 feet. [A. Plans provided in accordance](#)
  - (19) Any additional data, plans or specifications which the applicant or the city council believes is pertinent and will assist in clarifying the application. [A. All requests made to date have been included.](#)
    - b. Additional information will be provided upon request**

**Sec. 129-433. Basic requirements for application for rezoning.**

- (1) Present zoning classification of the parcel;
  - a. **Local Business District**
- (2) Zoning classification to which the applicant wishes to have the property changed;
  - a. **PUD**
- (3) The address, real estate tax parcel identification number and legal description of the parcel, and the size of the parcel in square feet and acreage;
  - a. **Address: 2900 Cahaba Rd, Birmingham, AL 25223**
  - b. **Parcel ID: 28 00 08 3 008 012.002**
  - c. **Lot 2 Village Green Map Book 171 PG 50, Jefferson County, AL**
  - d. **Size: 4.90 ac or 213,557 sf**
- (4) Name and address of the owner of the parcel;
  - a. **MTB Office Park LLC**  
**2900 Cahaba Rd**  
**Mountain Brook, AL 35223**
- (5) Name and address of the applicant, if he is someone other than the owner;
  - a. **Dominion Senior Living of Birmingham, LLC**  
**1200 Corporate Dr, Suite 225**  
**Birmingham, AL 35242**
- (6) If the application is made by anyone other than all of the owners of the parcel, written authorization from the other owners with respect to the filing of the application;
  - a. **See Appendix B**
- (7) Name and address of any party who holds a mortgage on the parcel, or any part thereof;
  - a. **MTB Office Park LLC**  
**2900 Cahaba Rd**  
**Mountain Brook, AL 35223**
- (8) Statement of how the parcel is to be used if the rezoning application is granted;
  - a. **162 units Senior Living Facility.**
- (9) A preliminary site plan consisting of, at a minimum, a dimensioned drawing of the parcel showing at least the location of: **See Attached PUD application Plans**
  - a. Existing and proposed buildings and other structures;
  - b. Any existing or proposed easements or rights-of-way;
  - c. Lot and yard areas, and how they are to be used;
  - d. Parking areas and the location or locations at which motor vehicles will have ingress to, and egress from, the parcel;

- e. Water supply facilities; and
  - f. Sewage disposal facilities;
- (9) Names and addresses of all property owners, any portion of whose property lies within 500 feet of any portion of the parcel included in the request for rezoning; said names and addresses are to be certified by the tax assessor or a title insurance company;
- a. **Previously provided to Mountain Brook Planning & Zoning**
- (11) A letter from an attorney or a title insurance company stating whether the parcel which is the subject of the rezoning application is subject to any covenants or restrictions and, if so, a copy of the covenants and/or restrictions; and
- See Appendix D - Title Commitment**
- (12) Any additional information which may be required by any other provision of this chapter, or which the zoning officer or the planning commission may consider necessary for an adequate evaluation of the effect of the proposed rezoning of the parcel on adjacent and nearby properties.

**See Appendix C - Traffic Study**

# **Appendix C**

## Traffic Study

July 12, 2024

**DRAFT**

R. Withers Poellnitz  
Dominion Partners  
1200 Corporate Drive, Suite 225  
Birmingham, AL 35242

RE: Mountain Brook Senior Living  
Mountain Brook, Alabama

Mr. Poellnitz;

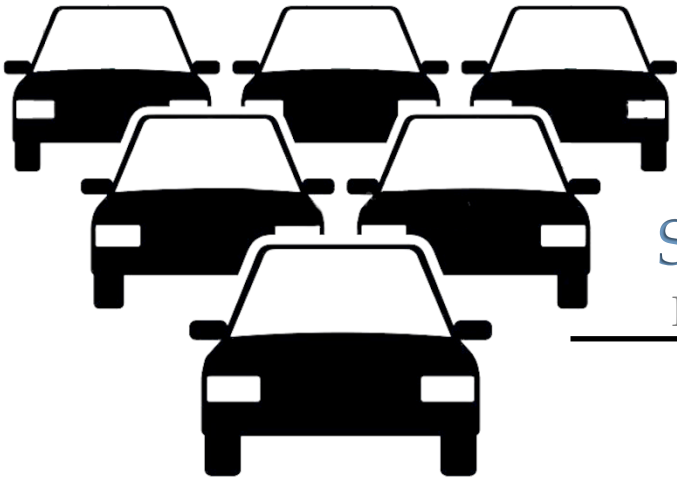
Based upon our discussion this morning, you indicated that the proposed Senior Living development would have a reduction in independent living units as compared to the number of units represented in the Traffic Study of April 26, 2024. The reduction in units would be from 102 to 98 independent living units, resulting in a reduction of four (4) independent units. The assisted living and memory care units would remain as represented in the Traffic Study (32 units of each). The resultant new total number of units would now be 162 as compared to 166 total units as reflected in the Traffic Study.

As requested, we have conducted a review of the trip generation estimates presented in the Traffic Study, dated April 26, 2024. This review was conducted to determine if the reduction in total units would have any impact on the trip generation estimates for the Senior Living development or the findings of the Traffic Study. The review of trip generation estimates indicates the reduction in number of independent living units would result in no more than a one (1) trip reduction per peak hour evaluated which would result in no change in the findings represented in the Traffic Study dated April 26, 2024.

Should you have any questions or need any further information related to this or other items on the project, please feel free to contact us.

Sincerely,

Darrell B. Skipper, P.E.  
Skipper consulting, Inc.



Senior Living Development  
MOUNTAIN BROOK, ALABAMA

---

# TRAFFIC STUDY

April 2024

Prepared by:

**SKIPPER**  
CONSULTING INC

Prepared for:

Dominion Partners, LLC.  
1200 Corporate Drive #225  
Birmingham, Alabama 35242

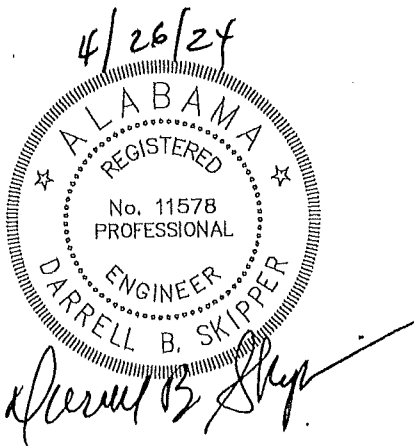
# TRAFFIC STUDY

---

## Senior Living Development Mountain Brook, Alabama

Prepared for:  
Dominion Partners, LLC.  
1200 Corporate Drive #225  
Birmingham, Alabama 35242  
205.776.6000  
dpllc.com

Prepared by:  
Skipper Consulting, Inc.  
3644 Vann Road, Suite 100  
Birmingham, Alabama 35235  
205.655.8855  
skipperinc.com



April 2024

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## APPENDICES

Appendix A	Preliminary Site Plan
Appendix B	Traffic Count Data
Appendix C	Intersection Capacity Analysis – Background Conditions
Appendix D	Intersection Capacity Analysis – Future Conditions



## INTRODUCTION

The purpose of this report is to document the results of a traffic study conducted for a proposed senior living development to be located along Cahaba Road and Chester Road in Mountain Brook, Alabama. Access to the site is planned with two existing driveways: one full access driveway along Cahaba Road (aligning with Culver Road) and one full access driveway along Chester Road. The location of the proposed development in relation to the surrounding area roadways is shown in **Figure 1**.

This traffic study has been conducted to:

- Assess existing traffic conditions in the vicinity of the site;
- Estimate traffic to be generated by the proposed development;
- Predict the directional distribution of the traffic generated by the development;
- Assign development generated traffic to the study intersections and roadways; and
- Determine the geometric and traffic control improvements, if any, that would be needed to accommodate the planned senior living development.

Sources of information used in this report include: The Institute of Transportation Engineers; the Transportation Research Board; the Alabama Department of Transportation; the City of Mountain Brook, Alabama; Dominion Partners; Traffic Data, LLC.; and the files and field reconnaissance efforts of Skipper Consulting, Inc.



**SKIPPER**  
CONSULTING INC

Legend



Site Area



Study Intersection



North

Scale: n.t.s

Figure 1  
Site Location

Mountain Brook, Alabama

## BACKGROUND INFORMATION

### Site Description and Access

The proposed development site is located in the southeast quadrant of the Chester Road and Cahaba Road intersection in Mountain Brook, Alabama. The proposed site has an existing dermatological center. Access to the site will be from two driveways: one fully directional driveway along Cahaba Road; and one fully directional driveway along Chester Road. The development is planned to contain a senior care facility with varying types of senior living planned to contain approximately 102 units for senior adult housing-attached, 32 beds of assisted living, and 32 beds for the memory care. The preliminary site plan for the overall development is provided in **Appendix A**.

### Study Area Roadways

West of the site, Chester Road is a two-lane roadway with no posted speed limit. For the purposes of this report, Chester Road is considered a north/south roadway.

North of the site, Cahaba Road is a collector roadway with a posted speed limit of 20 miles per hour. For the purposes of this report, Cahaba Road is a north/south roadway.

North of the site, Culver Road is a two-lane roadway with no posted speed limit. For the purposes of this report, Culver Road is considered an east/west roadway.

Northeast of the site, Heathermoor Road is a two-lane roadway with no posted speed limit. For the purposes of this report, Heathermoor Road is considered a north/south roadway.

West of the site, Brook Manor Drive is a two-lane roadway with no posted speed limit. For the purposes of this report, Brook Manor Drive is considered an east/west roadway.

.

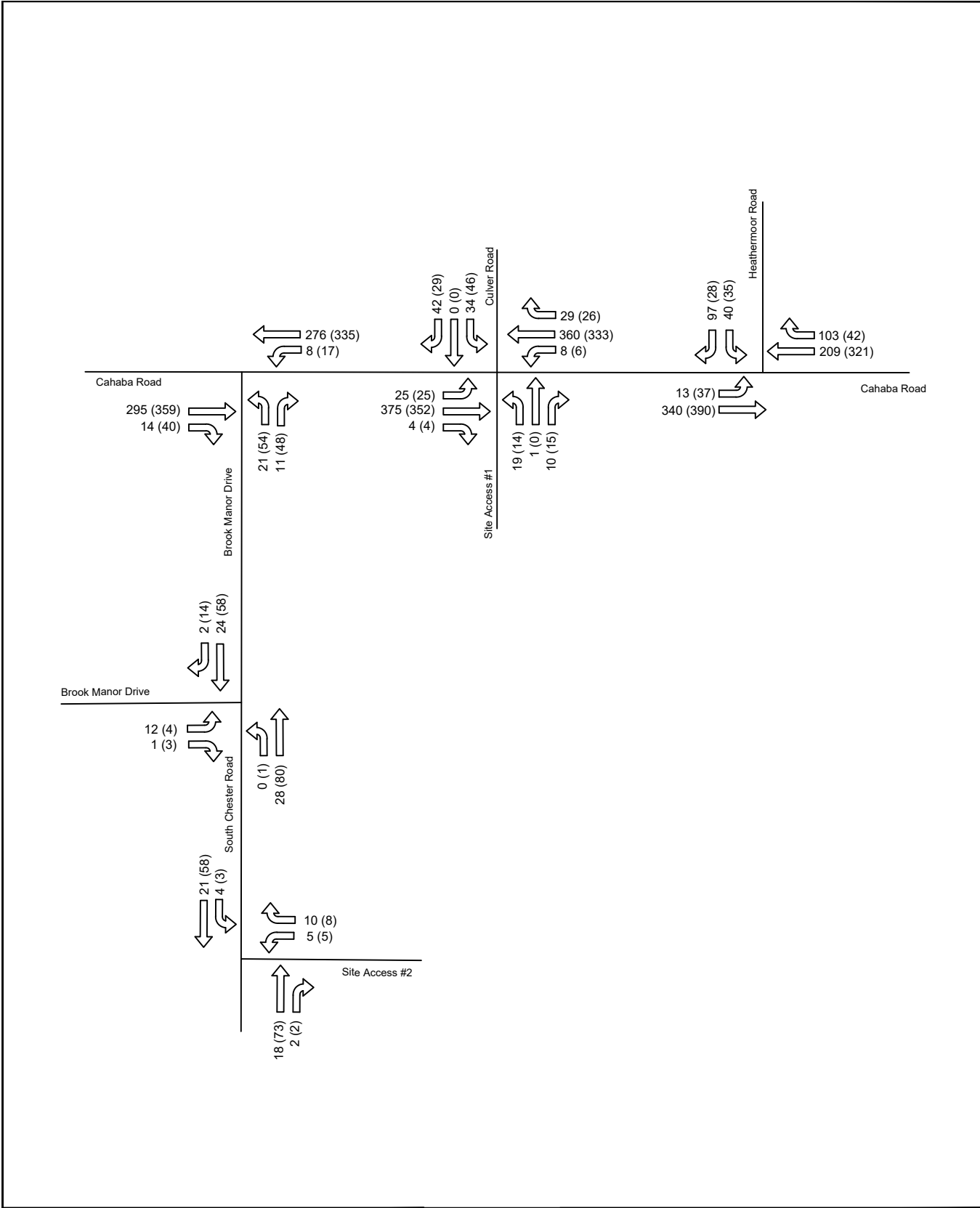
## EXISTING TRAFFIC CONDITIONS

### Existing Traffic Counts

The following intersections are considered study intersections in the vicinity of the development in Mountain Brook:

- Chester Road at Cahaba Road;
- Cahaba Road at Culver Road;
- Brook Manor Drive;
- Heathermoor Road and;
- Chester Road at Brook Manor Drive.

Morning and afternoon peak hour turning movement counts were conducted at the study intersections for a typical weekday beginning Wednesday, April 05, 2023. Existing traffic counts are illustrated in **Figure 2**, and detailed traffic count data is provided in **Appendix B**.



## Existing Intersection Capacity Analysis

Using methods as outlined in the *Highway Capacity Manual*, published by the Transportation Research Board, using *Synchro* software, the existing capacity and operation of the study intersections were evaluated. According to this method of analysis, traffic capacities are expressed as levels of service, ranging from “A” (best) to “F” (worst). In general, a level of service (LOS) “C” is considered desirable, while a level of service “D” is considered acceptable during peak hours of traffic flow. Existing morning and afternoon peak hour approach levels of service for the study intersections are summarized in **Table 1**, and capacity analysis printouts are provided in **Appendix C**.

**Table 1 – Intersection Capacity Analysis – Existing Conditions**

Intersection (Traffic Control)	Approach/Movement	Level of Service	
		AM Peak Hour	PM Peak Hour
Brook Manor Drive at Cahaba Road ( <i>unsignalized</i> )	Brook Manor Drive (eastbound)	B	B
	Cahaba Road (northbound left)	A	A
	Cahaba Road (southbound)	-	-
Chester Road at Brook Manor Drive ( <i>unsignalized</i> )	Brook Manor Drive (eastbound)	A	A
	Chester Road (northbound left)	A	A
	Brook Manor Drive (southbound)	-	-
Cahaba Road at Heathermoor Road ( <i>unsignalized</i> )	Heathermoor Road (westbound)	B	C
	Cahaba Road (northbound)	-	-
	Cahaba Road (southbound left)	A	A
Cahaba Road at Culver Road ( <i>signalized</i> )	Culver Road (eastbound)	C	A
	Culver Road (westbound)	C	A
	Cahaba Road (northbound left)	A	A
	Cahaba Road (southbound left)	A	A
	Overall Intersection	A	A

Note: “-” indicates Level of Service is not defined for unopposed movements in the *Highway Capacity Manual* un-signalized intersection analysis procedures.

The results of the existing conditions capacity analysis indicated that all approaches of the study intersections currently operate with acceptable levels of service during the morning and afternoon peak hours under future conditions.

## FUTURE TRAFFIC CONDITIONS

### Trip Generation

Trip generation estimates were determined for the proposed development based on data contained in the *Trip Generation Manual, Tenth Edition*, as published by the Institute of Transportation Engineers (ITE). Trips expected to be generated by the development can be defined as new trips. New trips can be defined as development generated traffic which would not otherwise have traveled the study area roadways. Weekday, morning, and afternoon peak hour trip generation estimates for the proposed distribution facility are presented in **Table 2**.

**Table 2 – Trip Generation Estimates**

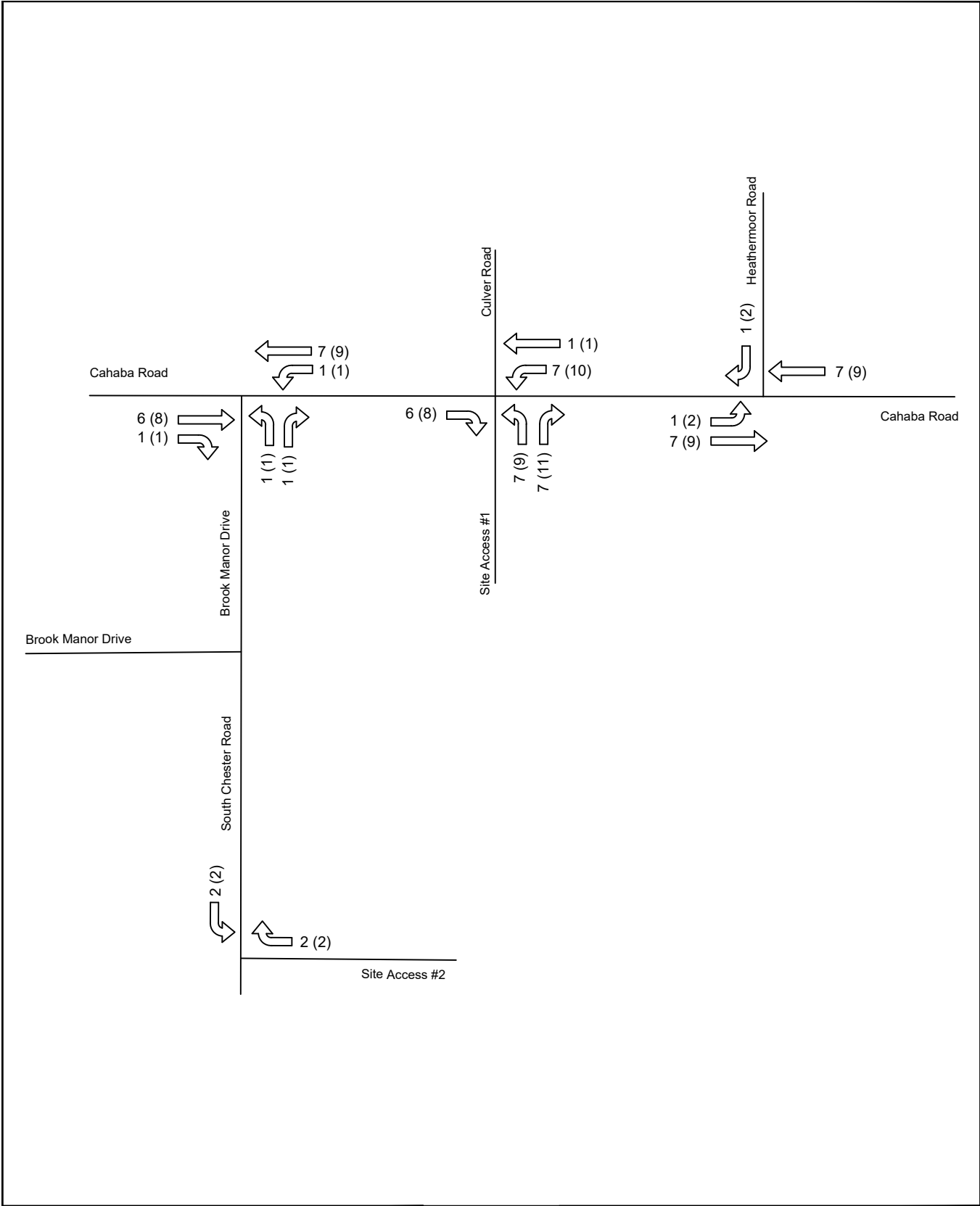
Land Use	Size	AM Peak		PM Peak	
		In	Out	In	Out
Senior Adult Housing - Attached	102 dwelling units	7	13	15	12
Assisted Living	32 beds	4	2	3	5
Nursing Home	32 beds	4	2	2	5
<i>Total Trips</i>		<i>15</i>	<i>17</i>	<i>20</i>	<i>22</i>

### Trip Distribution Patterns

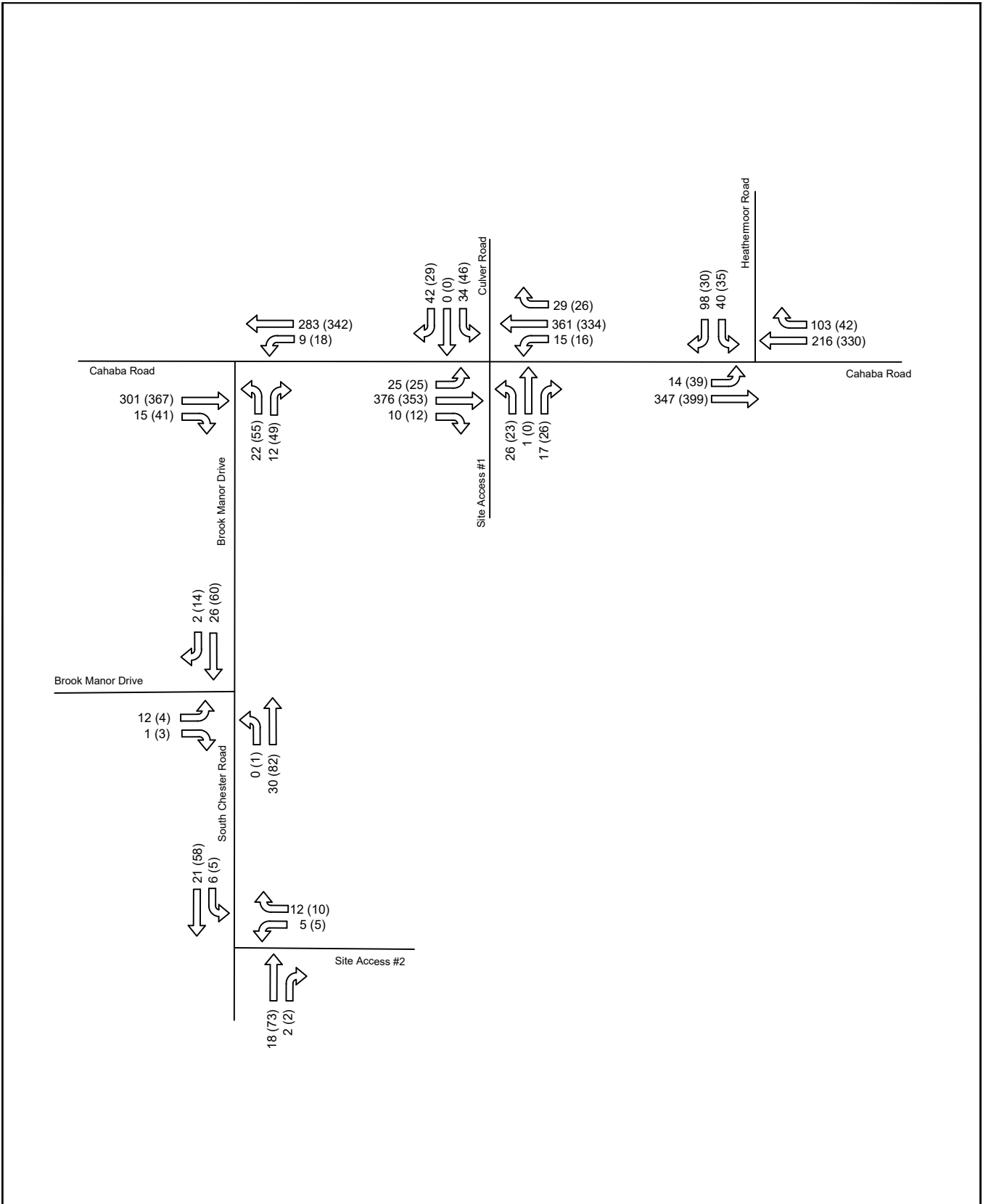
The directional distribution of new traffic expected to be generated by the proposed distribution facility was estimated based upon existing travel patterns on existing study roadways within the study area. The anticipated distribution was estimated at approximately 50% to/from the east; approximately 45% to/from the west; and approximately 5% to/from the north. The anticipated trips generated by the proposed senior living residential development are illustrated in **Figure 3**.

### Future Traffic Volumes

Future traffic volumes were developed by assigning traffic expected to be generated by the proposed senior living development onto the existing roadways using the directional distribution patterns previously outlined. Peak hour trips expected to be generated by the proposed senior living development were added to existing peak hour traffic volumes to result in future (post-development) peak hour traffic volumes. It should be noted that traffic generated by the existing facility was not subtracted from existing traffic volumes prior to assignment of the senior living developments anticipated trips which yields a conservative estimate for future traffic volumes. The proposed development is expected to be completed within 12 to 18 months, so no background traffic growth has been assumed. Future traffic volumes, illustrated in **Figure 4**, were used as the basis for assessing future (post-development) traffic conditions.







**SKIPPER**  
CONSULTING INC

**Legend**  
AM Peak Volume - XX  
PM Peak Volume - (XX)



North

Scale: n.t.s

**Figure 4**  
Future Traffic Volumes

Mountain Brook, Alabama

### Future Intersection Capacity Analysis

Using methods as outlined previously from the *Highway Capacity Manual*, the capacity and operation of the study intersections were evaluated for future peak hour conditions using *Synchro* software. Capacity analysis for future conditions were conducted assuming future peak hour traffic volumes (illustrated in **Figure 5**) and the existing roadway geometry and traffic control would be in place. Levels of service for future conditions are summarized in **Table 3**, and capacity analysis printouts are provided in **Appendix D** for reference.

**Table 3 – Intersection Capacity Analysis – Future Conditions**

Intersection (Traffic Control)	Approach/Movement	Level of Service	
		AM Peak Hour	PM Peak Hour
Brook Manor Drive at Cahaba Road ( <i>unsignalized</i> )	Brook Manor Drive (eastbound)	B	B
	Cahaba Road (northbound left)	A	A
	Cahaba Road (southbound)	-	-
Chester Road at Brook Manor Drive ( <i>unsignalized</i> )	Brook Manor Drive (eastbound)	A	A
	Chester Road (northbound left)	A	A
	Brook Manor Drive (southbound)	-	-
Cahaba Road at Heathermoor Road ( <i>unsignalized</i> )	Heathermoor Road (westbound)	B	C
	Cahaba Road (northbound)	-	-
	Cahaba Road (southbound left)	A	A
Cahaba Road at Culver Road ( <i>signalized</i> )	Culver Road (eastbound)	A	A
	Culver Road (westbound)	A	A
	Cahaba Road (northbound left)	C	C
	Cahaba Road (southbound left)	C	C
	Overall Intersection	A	A
Chester Road at Site Access #2 ( <i>unsignalized</i> )	Site Access #2 (westbound)	A	A
	Chester Rad (northbound)	-	-
	Chester Road (southbound)	A	A

Note: ‘-’ indicates Level of Service is not defined for unopposed movements in the *Highway Capacity Manual* un-signalized intersection analysis procedures.

The results of the future conditions capacity analysis indicated that all approaches of the study intersections will continue to operate with acceptable levels of service during the morning and afternoon peak hours under future conditions. This assumes existing roadway geometry and traffic control would also be in place at the study intersections.

## CONCLUSIONS

Based upon the evaluations and analyses documented in this report, the following summary can be stated:

1. A senior living residential development is being proposed in the southwest quadrant of the Chester Road and Cahaba Road intersection in Mountain Brook, Alabama.
2. Access to the site will be from two driveways: one fully directional driveway along Cahaba Road and one fully directional driveway along Chester Road.
3. The proposed residential development is planned to contain a mix of senior living options consisting of approximately 102 units for senior adult housing-attached, 30 beds of assisted living, and 32 beds for memory care.
4. Using methods as outlined in the *Highway Capacity Manual*, the existing capacity and operation of the study intersections were evaluated. The results showed that all of the approaches at the study intersections operate with acceptable levels of service during the morning and afternoon peak hours under existing conditions.
5. The proposed development is expected to generate approximately 32 trips during the morning peak hour (15 inbound and 17 outbound) and approximately 42 trips during the afternoon peak hour (20 inbound and 22 outbound).
6. Traffic expected to be generated by the proposed senior living development was assigned to the study intersections and added to existing peak hour traffic volumes to yield future (post development) traffic volumes.
7. Capacity analyses were conducted for future (post development) conditions to determine if any roadway and/or traffic control improvements would be needed to accommodate the proposed senior living development. The results of analyses indicate that existing roadway geometry and traffic control devices provide sufficient capacity to accommodate the proposed senior living development.
8. Future capacity and operation of the study intersections were evaluated assuming future (post development) traffic volumes and existing roadway geometry and traffic control would be in place. The results indicate future conditions would be similar to existing conditions. The study intersections would continue to operate with acceptable levels of service during the morning and afternoon peak hours under future conditions.

Appendix A  
Preliminary Site Plan



1 SITE PLAN  
NOT TO SCALE

Parcel 20 00 00 000 0 000  
Owner: Focus Architecture  
Address: 2717 Highway 291  
Birmingham, AL 35229

Parcel 20 00 00 000 0 000  
Owner: Focus Architecture  
Address: 2717 Highway 291  
Birmingham, AL 35229

Parcel 20 00 00 000 0 000  
Owner: Focus Architecture  
Address: 2717 Highway 291  
Birmingham, AL 35229

Parcel 20 00 00 000 0 000  
Owner: Focus Architecture  
Address: 2717 Highway 291  
Birmingham, AL 35229

Parcel 20 00 00 000 0 000  
Owner: Focus Architecture  
Address: 2717 Highway 291  
Birmingham, AL 35229

Appendix B  
Traffic Count Data

# TRAFFIC DATA, LLC

PO Box 187

Cullman, AL 35056

205-824-0125

Mountain Brook, AL

File Name : mountainbrook06

Site Code : 00000000

Start Date : 04/05/2023

Page No : 1

Groups Printed- Unshifted

Start Time	BROOK MANOR DR Southbound		S CHESTER RD Northbound		BROOK MANOR DR Eastbound		Int. Total
	Thru	Right	Left	Thru	Left	Right	
04:00 PM	10	4	0	18	3	0	35
04:15 PM	5	1	1	23	1	0	31
04:30 PM	8	3	0	19	0	0	30
04:45 PM	11	0	0	24	1	0	36
<b>Total</b>	<b>34</b>	<b>8</b>	<b>1</b>	<b>84</b>	<b>5</b>	<b>0</b>	<b>132</b>
05:00 PM	16	3	0	24	1	0	44
05:15 PM	15	2	0	26	3	1	47
05:30 PM	11	4	0	15	0	1	31
05:45 PM	16	5	1	15	0	1	38
<b>Total</b>	<b>58</b>	<b>14</b>	<b>1</b>	<b>80</b>	<b>4</b>	<b>3</b>	<b>160</b>
07:00 AM	1	0	0	3	0	0	4
07:15 AM	1	0	0	6	2	0	9
07:30 AM	1	0	0	4	1	0	6
07:45 AM	3	0	0	7	3	0	13
<b>Total</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>20</b>	<b>6</b>	<b>0</b>	<b>32</b>
08:00 AM	10	0	0	6	1	0	17
08:15 AM	5	1	0	7	5	1	19
08:30 AM	6	1	0	8	3	0	18
08:45 AM	2	2	0	9	0	0	13
<b>Total</b>	<b>23</b>	<b>4</b>	<b>0</b>	<b>30</b>	<b>9</b>	<b>1</b>	<b>67</b>
<b>Grand Total</b>	<b>121</b>	<b>26</b>	<b>2</b>	<b>214</b>	<b>24</b>	<b>4</b>	<b>391</b>
Apprch %	82.3	17.7	0.9	99.1	85.7	14.3	
Total %	30.9	6.6	0.5	54.7	6.1	1.0	

Start Time	BROOK MANOR DR Southbound			App. Total	S CHESTER RD Northbound			App. Total	BROOK MANOR DR Eastbound			Int. Total
	Thru	Right	App. Total		Left	Thru	App. Total		Left	Right	App. Total	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1												
Intersection	05:00 PM											
Volume	58	14	72	0	1	80	81	4	3	7	160	
Percent	80.6	19.4			1.2	98.8		57.1	42.9			
05:15 Volume	15	2	17	0	0	26	26	3	1	4	47	
Peak Factor											0.851	
High Int.	05:45 PM			3:45:00 PM	05:15 PM			05:15 PM				
Volume	16	5	21	0	0	26	26	3	1	4		
Peak Factor			0.857				0.779			0.438		
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1												
By Approach	05:00 PM			04:00 PM	04:30 PM			04:45 PM				
Volume	58	14	72	0	0	93	93	5	2	7		
Percent	80.6	19.4			0.0	100.0		71.4	28.6			
High Int.	05:45 PM			-	05:15 PM			05:15 PM				
Volume	16	5	21	-	0	26	26	3	1	4		
Peak Factor			0.857	-			0.894			0.438		

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205-824-0125

File Name : mountainbrook06  
Site Code : 00000000  
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Start Time	BROOK MANOR DR Southbound			App. Total	S CHESTER RD Northbound			BROOK MANOR DR Eastbound			Int. Total
	Thru	Right	App. Total		Left	Thru	App. Total	Left	Right	App. Total	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1											
Intersection	07:45 AM										
Volume	24	2	26	0	0	28	28	12	1	13	67
Percent	92.3	7.7			0.0	100.0		92.3	7.7		
08:15 Volume	5	1	6	0	0	7	7	5	1	6	19
Peak Factor											0.882
High Int.	08:00 AM				08:30 AM			08:15 AM			
Volume	10	0	10	0	0	8	8	5	1	6	
Peak Factor			0.650				0.875			0.542	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1											
By Approach	08:00 AM			07:00 AM	08:00 AM			07:45 AM			
Volume	23	4	27	0	0	30	30	12	1	13	
Percent	85.2	14.8			0.0	100.0		92.3	7.7		
High Int.	08:00 AM			-	08:45 AM			08:15 AM			
Volume	10	0	10	-	0	9	9	5	1	6	
Peak Factor			0.675	-			0.833			0.542	



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Mountain Brook, AL

File Name : mountainbrook05

Site Code : 00000000

Start Date : 04/05/2023

Page No : 1

Groups Printed- Unshifted

Start Time	CAHABA RD Southbound			CAHABA RD Northbound			BROOK MANOR DR Eastbound		Int. Total
	Thru	Right	Peds	Left	Thru	Peds	Left	Right	
04:00 PM	59	10	0	5	111	0	10	10	205
04:15 PM	81	2	1	4	101	0	13	11	213
04:30 PM	88	9	1	3	85	0	5	12	203
04:45 PM	75	6	0	4	84	0	14	14	197
<b>Total</b>	<b>303</b>	<b>27</b>	<b>2</b>	<b>16</b>	<b>381</b>	<b>0</b>	<b>42</b>	<b>47</b>	<b>818</b>
05:00 PM	91	14	0	5	87	0	15	12	224
05:15 PM	105	11	0	5	79	0	20	10	230
05:30 PM	83	11	0	3	75	0	10	4	186
05:45 PM	57	16	1	5	75	0	7	10	171
<b>Total</b>	<b>336</b>	<b>52</b>	<b>1</b>	<b>18</b>	<b>316</b>	<b>0</b>	<b>52</b>	<b>36</b>	<b>811</b>
07:00 AM	35	1	1	0	42	0	1	2	82
07:15 AM	60	1	0	0	37	0	5	2	105
07:30 AM	83	1	0	1	78	0	1	4	168
07:45 AM	82	3	0	1	78	0	5	3	172
<b>Total</b>	<b>260</b>	<b>6</b>	<b>1</b>	<b>2</b>	<b>235</b>	<b>0</b>	<b>12</b>	<b>11</b>	<b>527</b>
08:00 AM	56	8	1	3	58	0	5	1	132
08:15 AM	74	2	0	3	62	2	10	3	156
08:30 AM	80	6	0	1	62	0	9	2	160
08:45 AM	56	5	0	1	57	0	4	5	128
<b>Total</b>	<b>266</b>	<b>21</b>	<b>1</b>	<b>8</b>	<b>239</b>	<b>2</b>	<b>28</b>	<b>11</b>	<b>576</b>
<b>Grand Total</b>	<b>1165</b>	<b>106</b>	<b>5</b>	<b>44</b>	<b>1171</b>	<b>2</b>	<b>134</b>	<b>105</b>	<b>2732</b>
Apprch %	91.3	8.3	0.4	3.6	96.2	0.2	56.1	43.9	
Total %	42.6	3.9	0.2	1.6	42.9	0.1	4.9	3.8	

Start Time	CAHABA RD Southbound				App. Total	CAHABA RD Northbound				App. Total	BROOK MANOR DR Eastbound			Int. Total
	Thru	Right	Peds	App. Total		Left	Thru	Peds	App. Total		Left	Right	App. Total	
<b>Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1</b>														
Intersection	04:30 PM													
Volume	359	40	1	400	0	17	335	0	352	54	48	102	854	
Percent	89.8	10.0	0.3			4.8	95.2	0.0		52.9	47.1			
05:15 Volume	105	11	0	116	0	5	79	0	84	20	10	30	230	
Peak Factor														0.928
High Int.	05:15 PM				3:45:00 PM	05:00 PM				05:15 PM				
Volume	105	11	0	116	0	5	87	0	92	20	10	30		
Peak Factor	0.862					0.957				0.850				
<b>Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1</b>														
By Approach	04:30 PM				04:00 PM	04:00 PM				04:30 PM				
Volume	359	40	1	400	0	16	381	0	397	54	48	102		
Percent	89.8	10.0	0.3			4.0	96.0	0.0		52.9	47.1			
High Int.	05:15 PM				-	04:00 PM				05:15 PM				
Volume	105	11	0	116	-	5	111	0	116	20	10	30		
Peak Factor	0.862					0.856				0.850				

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205-824-0125

File Name : mountainbrook05  
Site Code : 00000000  
Start Date : 04/05/2023  
Page No : 2

Start Time	CAHABA RD Southbound				App. Total	CAHABA RD Northbound				BROOK MANOR DR Eastbound			Int. Total
	Thru	Right	Peds	App. Total		Left	Thru	Peds	App. Total	Left	Right	App. Total	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1													
Intersection	07:30 AM												
Volume	295	14	1	310	0	8	276	2	286	21	11	32	628
Percent	95.2	4.5	0.3			2.8	96.5	0.7		65.6	34.4		
07:45 Volume	82	3	0	85	0	1	78	0	79	5	3	8	172
Peak Factor				0.912					0.905				0.615
High Int.	07:45 AM					07:30 AM				08:15 AM			0.913
Volume	82	3	0	85	0	1	78	0	79	10	3	13	
Peak Factor				0.912					0.905				0.615
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1													
By Approach	07:45 AM				07:00 AM	07:30 AM				08:00 AM			
Volume	292	19	1	312	0	8	276	2	286	28	11	39	
Percent	93.6	6.1	0.3			2.8	96.5	0.7		71.8	28.2		
High Int.	08:30 AM				-	07:30 AM				08:15 AM			
Volume	80	6	0	86	-	1	78	0	79	10	3	13	
Peak Factor				0.907	-				0.905				0.750

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Mountain Brook, AL

File Name : mountainbrook04

Site Code : 00000000

Start Date : 04/05/2023

Page No : 1

Groups Printed- Unshifted

Start Time	CAHABA RD Southbound		HEATHERMOOR RD Westbound			CAHABA RD Northbound		Int. Total
	Left	Thru	Left	Right	Peds	Thru	Right	
04:00 PM	10	69	1	2	1	111	3	197
04:15 PM	4	89	7	7	3	85	9	204
04:30 PM	9	110	9	6	1	76	4	215
04:45 PM	9	78	2	5	9	92	3	198
<b>Total</b>	<b>32</b>	<b>346</b>	<b>19</b>	<b>20</b>	<b>14</b>	<b>364</b>	<b>19</b>	<b>814</b>
05:00 PM	8	99	12	5	5	78	16	223
05:15 PM	11	103	12	12	10	75	19	242
05:30 PM	8	76	9	11	16	66	8	194
05:45 PM	9	52	6	10	9	81	6	173
<b>Total</b>	<b>36</b>	<b>330</b>	<b>39</b>	<b>38</b>	<b>40</b>	<b>300</b>	<b>49</b>	<b>832</b>
07:00 AM	5	37	4	3	9	35	11	104
07:15 AM	4	46	12	11	4	33	25	135
07:30 AM	6	96	12	36	5	43	60	258
07:45 AM	3	106	10	37	3	51	31	241
<b>Total</b>	<b>18</b>	<b>285</b>	<b>38</b>	<b>87</b>	<b>21</b>	<b>162</b>	<b>127</b>	<b>738</b>
08:00 AM	3	66	12	15	11	57	9	173
08:15 AM	1	72	6	9	1	58	3	150
08:30 AM	8	76	1	5	5	60	3	158
08:45 AM	4	61	1	3	6	66	5	146
<b>Total</b>	<b>16</b>	<b>275</b>	<b>20</b>	<b>32</b>	<b>23</b>	<b>241</b>	<b>20</b>	<b>627</b>
<b>Grand Total</b>	<b>102</b>	<b>1236</b>	<b>116</b>	<b>177</b>	<b>98</b>	<b>1067</b>	<b>215</b>	<b>3011</b>
Apprch %	7.6	92.4	29.7	45.3	25.1	83.2	16.8	
Total %	3.4	41.0	3.9	5.9	3.3	35.4	7.1	

Start Time	CAHABA RD Southbound			HEATHERMOOR RD Westbound				CAHABA RD Northbound			App. Total	Int. Total
	Left	Thru	App. Total	Left	Right	Peds	App. Total	Thru	Right	App. Total		
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1												
Intersection	04:30 PM											
Volume	37	390	427	35	28	25	88	321	42	363	0	878
Percent	8.7	91.3		39.8	31.8	28.4		88.4	11.6			
05:15 Volume	11	103	114	12	12	10	34	75	19	94	0	242
Peak Factor											0.907	
High Int.	04:30 PM			05:15 PM				04:45 PM			3:45:00 PM	
Volume	9	110	119	12	12	10	34	92	3	95		
Peak Factor	0.897							0.647			0.955	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1												
By Approach	04:30 PM			05:00 PM				04:00 PM			04:00 PM	
Volume	37	390	427	39	38	40	117	364	19	383	0	
Percent	8.7	91.3		33.3	32.5	34.2		95.0	5.0			
High Int.	04:30 PM			05:30 PM				04:00 PM			-	
Volume	9	110	119	9	11	16	36	111	3	114	-	-
Peak Factor	0.897							0.813			0.840	

# TRAFFIC DATA, LLC

PO Box 187  
Cullman, AL 35056  
205-824-0125

File Name : mountainbrook04  
Site Code : 00000000  
Start Date : 04/05/2023  
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Start Time	CAHABA RD Southbound			HEATHERMOOR RD Westbound				CAHABA RD Northbound			App. Total	Int. Total
	Left	Thru	App. Total	Left	Right	Peds	App. Total	Thru	Right	App. Total		
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1												
Intersection	07:30 AM											
Volume	13	340	353	40	97	20	157	209	103	312	0	822
Percent	3.7	96.3		25.5	61.8	12.7		67.0	33.0			
07:30 Volume	6	96	102	12	36	5	53	43	60	103	0	258
Peak Factor												0.797
High Int.	07:45 AM			07:30 AM				07:30 AM				
Volume	3	106	109	12	36	5	53	43	60	103		
Peak Factor	0.810							0.741			0.757	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1												
By Approach	07:30 AM			07:15 AM				07:30 AM			07:00 AM	
Volume	13	340	353	46	99	23	168	209	103	312	0	
Percent	3.7	96.3		27.4	58.9	13.7		67.0	33.0			
High Int.	07:45 AM			07:30 AM				07:30 AM			-	
Volume	3	106	109	12	36	5	53	43	60	103	-	-
Peak Factor	0.810							0.792			0.757	-

# TRAFFIC DATA, LLC

PO Box 187

Cullman, AL 35056

205-824-0125

Mountain Brook, AL

File Name : mountainbrook03

Site Code : 00000000

Start Date : 04/05/2023

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Groups Printed- Unshifted

Start Time	CAHABA RD Southbound				CULVER RD Westbound				CAHABA RD Northbound				CULVER RD Eastbound				Int. Total
	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	Left	Thru	Right	Peds	
04:00 PM	9	65	0	0	12	0	6	5	3	104	8	0	6	1	1	0	220
04:15 PM	7	84	1	0	12	0	5	9	1	93	13	0	7	0	4	0	236
04:30 PM	2	95	0	1	15	0	6	5	2	74	4	1	5	0	1	0	211
04:45 PM	8	80	2	0	11	0	6	6	2	89	4	1	1	0	4	1	215
<b>Total</b>	<b>26</b>	<b>324</b>	<b>3</b>	<b>1</b>	<b>50</b>	<b>0</b>	<b>23</b>	<b>25</b>	<b>8</b>	<b>360</b>	<b>29</b>	<b>2</b>	<b>19</b>	<b>1</b>	<b>10</b>	<b>1</b>	<b>882</b>
05:00 PM	8	93	1	0	8	0	12	13	1	77	5	0	1	0	6	0	225
05:15 PM	7	107	1	0	7	0	6	11	0	77	9	0	2	0	6	0	233
05:30 PM	15	71	1	0	10	0	10	11	0	69	16	0	3	0	1	0	207
05:45 PM	12	56	0	5	9	0	14	20	1	72	17	0	0	0	2	0	208
<b>Total</b>	<b>42</b>	<b>327</b>	<b>3</b>	<b>5</b>	<b>34</b>	<b>0</b>	<b>42</b>	<b>55</b>	<b>2</b>	<b>295</b>	<b>47</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>873</b>
07:00 AM	0	37	2	0	4	0	5	10	1	33	4	0	0	0	0	0	96
07:15 AM	6	53	3	0	5	1	3	1	3	35	4	0	0	0	0	0	114
07:30 AM	11	78	1	0	26	0	4	3	3	77	7	0	0	0	0	0	210
07:45 AM	3	78	5	0	34	0	4	4	6	75	5	0	0	0	0	0	214
<b>Total</b>	<b>20</b>	<b>246</b>	<b>11</b>	<b>0</b>	<b>69</b>	<b>1</b>	<b>16</b>	<b>18</b>	<b>13</b>	<b>220</b>	<b>20</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>634</b>
08:00 AM	5	53	4	0	16	3	4	3	5	59	7	0	0	0	1	0	160
08:15 AM	7	69	6	0	11	0	1	1	2	64	6	0	0	0	1	0	168
08:30 AM	6	65	6	0	12	1	2	5	8	58	5	0	1	0	1	0	170
08:45 AM	1	57	4	0	9	1	3	5	3	56	3	1	4	1	0	0	148
<b>Total</b>	<b>19</b>	<b>244</b>	<b>20</b>	<b>0</b>	<b>48</b>	<b>5</b>	<b>10</b>	<b>14</b>	<b>18</b>	<b>237</b>	<b>21</b>	<b>1</b>	<b>5</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>646</b>
<b>Grand Total</b>	<b>107</b>	<b>1141</b>	<b>37</b>	<b>6</b>	<b>201</b>	<b>6</b>	<b>91</b>	<b>112</b>	<b>41</b>	<b>1112</b>	<b>117</b>	<b>3</b>	<b>30</b>	<b>2</b>	<b>28</b>	<b>1</b>	<b>3035</b>
Apprch %	8.3	88.4	2.9	0.5	49.0	1.5	22.2	27.3	3.2	87.4	9.2	0.2	49.2	3.3	45.9	1.6	
Total %	3.5	37.6	1.2	0.2	6.6	0.2	3.0	3.7	1.4	36.6	3.9	0.1	1.0	0.1	0.9	0.0	

Start Time	CAHABA RD Southbound					CULVER RD Westbound					CAHABA RD Northbound					CULVER RD Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1																					
Intersection	04:15 PM																				
Volume	25	352	4	1	382	46	0	29	33	108	6	333	26	2	367	14	0	15	1	30	887
Percent	6.5	92.1	1.0	0.3		42.6	0.0	26.9	30.6		1.6	90.7	7.1	0.5		46.7	0.0	50.0	3.3		
04:15 Volume	7	84	1	0	92	12	0	5	9	26	1	93	13	0	107	7	0	4	0	11	236
Peak Factor																					0.940
High Int. Volume	05:00 PM					05:00 PM					04:15 PM					04:15 PM					
Peak Factor	0.936					0.818					0.857					0.682					

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Start Time	CAHABA RD Southbound					CULVER RD Westbound					CAHABA RD Northbound					CULVER RD Eastbound					Int. Total
	Left	Thru	Rght	Peds	App. Total	Left	Thru	Rght	Peds	App. Total	Left	Thru	Rght	Peds	App. Total	Left	Thru	Rght	Peds	App. Total	

Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1

By Approach	04:30 PM					05:00 PM					04:00 PM					04:00 PM				
Volume	25	375	4	1	405	34	0	42	55	131	8	360	29	2	399	19	1	10	1	31
Percent	6.2	92.6	1.0	0.2		26.0	0.0	32.1	42.0		2.0	90.2	7.3	0.5		61.3	3.2	32.3	3.2	
High Int. Peak Factor	0.880					0.762					0.867					0.705				

Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1

Intersection	07:30 AM					07:45 AM					07:30 AM					08:00 AM				
Volume	26	278	16	0	320	87	3	13	11	114	16	275	25	0	316	0	0	2	0	2
Percent	8.1	86.9	5.0	0.0		76.3	2.6	11.4	9.6		5.1	87.0	7.9	0.0		0.0	0.0	100.0	0.0	
High Int. Peak Factor	0.889					0.679					0.908					0.500				

Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1

By Approach	07:30 AM					07:30 AM					07:30 AM					08:00 AM				
Volume	26	278	16	0	320	87	3	13	11	114	16	275	25	0	316	5	1	3	0	9
Percent	8.1	86.9	5.0	0.0		76.3	2.6	11.4	9.6		5.1	87.0	7.9	0.0		55.6	11.1	33.3	0.0	
High Int. Peak Factor	0.889					0.679					0.908					0.450				

Intersection Capacity Printouts – Existing Traffic Conditions

1: Brook Manor Drive & Cahaba Road

AM Existing Peak Hour

Intersection						
Int Delay, s/veh	1					
Movement	NBL	NBR	SET	SER	NWL	NWT
Lane Configurations						
Traffic Vol, veh/h	21	11	295	14	8	276
Future Vol, veh/h	21	11	295	14	8	276
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	62	62	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	34	18	324	15	9	303

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	653	332	0	0	339
Stage 1	332	-	-	-	-
Stage 2	321	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	432	710	-	-	1220
Stage 1	727	-	-	-	-
Stage 2	735	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	428	710	-	-	1220
Mov Cap-2 Maneuver	527	-	-	-	-
Stage 1	727	-	-	-	-
Stage 2	728	-	-	-	-

Approach	NB	SE	NW
HCM Control Delay, s	11.8	0	0.2
HCM LOS	B		

Minor Lane/Major Mvmt	NBLn1	NWL	NWT	SET	SER
Capacity (veh/h)	578	1220	-	-	-
HCM Lane V/C Ratio	0.089	0.007	-	-	-
HCM Control Delay (s)	11.8	8	0	-	-
HCM Lane LOS	B	A	A	-	-
HCM 95th %tile Q(veh)	0.3	0	-	-	-



## 8: Cahaba Road & Heathermore Road

AM Existing Peak Hour

Intersection						
Int Delay, s/veh	2.6					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations		↕	↑	↗	↘	
Traffic Vol, veh/h	13	340	209	103	40	97
Future Vol, veh/h	13	340	209	103	40	97
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	75	-	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	81	81	76	76	74	74
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	420	275	136	54	131
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	411	0	-	0	727	275
Stage 1	-	-	-	-	275	-
Stage 2	-	-	-	-	452	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1148	-	-	-	391	764
Stage 1	-	-	-	-	771	-
Stage 2	-	-	-	-	641	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1148	-	-	-	384	764
Mov Cap-2 Maneuver	-	-	-	-	384	-
Stage 1	-	-	-	-	757	-
Stage 2	-	-	-	-	641	-
Approach	SE	NW	SW			
HCM Control Delay, s	0.3	0	13.8			
HCM LOS			B			
Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1		
Capacity (veh/h)	-	-	1148	-	593	
HCM Lane V/C Ratio	-	-	0.014	-	0.312	
HCM Control Delay (s)	-	-	8.2	0	13.8	
HCM Lane LOS	-	-	A	A	B	
HCM 95th %tile Q(veh)	-	-	0	-	1.3	

11: South Chester Road

AM Existing Peak Hour

Intersection						
Int Delay, s/veh	2.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	5	10	18	2	4	21
Future Vol, veh/h	5	10	18	2	4	21
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	11	20	2	4	23

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	52	21	0	0	22	0
Stage 1	21	-	-	-	-	-
Stage 2	31	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	957	1056	-	-	1593	-
Stage 1	1002	-	-	-	-	-
Stage 2	992	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	954	1056	-	-	1593	-
Mov Cap-2 Maneuver	954	-	-	-	-	-
Stage 1	1002	-	-	-	-	-
Stage 2	989	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	8.6	0	1.2
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1020	1593
HCM Lane V/C Ratio	-	-	0.016	0.003
HCM Control Delay (s)	-	-	8.6	7.3
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

14: South Chester Road/Brook Manor Drive

AM Existing Peak Hour

Intersection						
Int Delay, s/veh	2.2					
Movement	NBL	NBT	SBT	SBR	SEL	SER
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	0	28	24	2	12	1
Future Vol, veh/h	0	28	24	2	12	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	88	88	65	65	54	54
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	32	37	3	22	2

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	40	0	-	0	71 39
Stage 1	-	-	-	-	39 -
Stage 2	-	-	-	-	32 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1570	-	-	-	933 1033
Stage 1	-	-	-	-	983 -
Stage 2	-	-	-	-	991 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1570	-	-	-	933 1033
Mov Cap-2 Maneuver	-	-	-	-	933 -
Stage 1	-	-	-	-	983 -
Stage 2	-	-	-	-	991 -

Approach	NB	SB	SE
HCM Control Delay, s	0	0	8.9
HCM LOS			A

Minor Lane/Major Mvmt	NBL	NBT	SELn1	SBT	SBR
Capacity (veh/h)	1570	-	940	-	-
HCM Lane V/C Ratio	-	-	0.026	-	-
HCM Control Delay (s)	0	-	8.9	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

5: Culver Road & Cahaba Road

AM Existing Peak Hour

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (vph)	25	375	4	8	360	29	19	1	10	34	0	42
Future Volume (vph)	25	375	4	8	360	29	19	1	10	34	0	42
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Total Lost time (s)	4.5	4.5			4.5		4.5	4.5			4.5	
Lane Util. Factor	1.00	1.00			1.00		1.00	1.00			1.00	
Frt	1.00	1.00			0.99		1.00	0.86			0.93	
Flt Protected	0.95	1.00			1.00		0.95	1.00			0.98	
Satd. Flow (prot)	1770	1860			1842		1770	1609			1686	
Flt Permitted	0.54	1.00			0.99		0.67	1.00			0.85	
Satd. Flow (perm)	998	1860			1830		1240	1609			1458	
Peak-hour factor, PHF	0.89	0.89	0.89	0.91	0.91	0.91	0.50	0.50	0.50	0.68	0.68	0.68
Adj. Flow (vph)	28	421	4	9	396	32	38	2	20	50	0	62
RTOR Reduction (vph)	0	0	0	0	2	0	0	18	0	0	56	0
Lane Group Flow (vph)	28	425	0	0	435	0	38	4	0	0	56	0
Turn Type	Perm	NA		Perm	NA		Perm	NA		Perm	NA	
Protected Phases		2			2			4			4	
Permitted Phases	2			2			4			4		
Actuated Green, G (s)	58.6	58.6			58.6		7.4	7.4			7.4	
Effective Green, g (s)	58.6	58.6			58.6		7.4	7.4			7.4	
Actuated g/C Ratio	0.78	0.78			0.78		0.10	0.10			0.10	
Clearance Time (s)	4.5	4.5			4.5		4.5	4.5			4.5	
Vehicle Extension (s)	3.0	3.0			3.0		3.0	3.0			3.0	
Lane Grp Cap (vph)	779	1453			1429		122	158			143	
v/s Ratio Prot		0.23						0.00				
v/s Ratio Perm	0.03				c0.24		0.03				c0.04	
v/c Ratio	0.04	0.29			0.30		0.31	0.03			0.39	
Uniform Delay, d1	1.8	2.3			2.4		31.4	30.5			31.7	
Progression Factor	1.00	1.00			1.00		1.00	1.00			1.00	
Incremental Delay, d2	0.1	0.5			0.6		1.5	0.1			1.8	
Delay (s)	1.9	2.8			2.9		32.9	30.6			33.5	
Level of Service	A	A			A		C	C			C	
Approach Delay (s)		2.8			2.9			32.1			33.5	
Approach LOS		A			A			C			C	
<b>Intersection Summary</b>												
HCM 2000 Control Delay			7.7									A
HCM 2000 Volume to Capacity ratio			0.31									
Actuated Cycle Length (s)			75.0								9.0	
Intersection Capacity Utilization			45.8%									A
Analysis Period (min)			15									

c Critical Lane Group

1: Brook Manor Drive & Cahaba Road

PM Existing Peak Hour

Intersection						
Int Delay, s/veh	1.9					
Movement	NBL	NBR	SET	SER	NWL	NWT
Lane Configurations						
Traffic Vol, veh/h	54	48	359	40	17	335
Future Vol, veh/h	54	48	359	40	17	335
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	86	86	96	96
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	64	56	417	47	18	349

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	826	441	0	0	464
Stage 1	441	-	-	-	-
Stage 2	385	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	342	616	-	-	1097
Stage 1	648	-	-	-	-
Stage 2	688	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	335	616	-	-	1097
Mov Cap-2 Maneuver	454	-	-	-	-
Stage 1	648	-	-	-	-
Stage 2	674	-	-	-	-

Approach	NB	SE	NW
HCM Control Delay, s	14	0	0.4
HCM LOS	B		

Minor Lane/Major Mvmt	NBLn1	NWL	NWT	SET	SER
Capacity (veh/h)	518	1097	-	-	-
HCM Lane V/C Ratio	0.232	0.016	-	-	-
HCM Control Delay (s)	14	8.3	0	-	-
HCM Lane LOS	B	A	A	-	-
HCM 95th %tile Q(veh)	0.9	0	-	-	-

8: Cahaba Road & Heathermore Road

PM Existing Peak Hour

Intersection						
Int Delay, s/veh	2					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations		↕	↑	↗	↘	
Traffic Vol, veh/h	37	390	321	42	35	28
Future Vol, veh/h	37	390	321	42	35	28
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	75	-	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	90	90	96	96	65	65
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	41	433	334	44	54	43
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	378	0	-	0	849	334
Stage 1	-	-	-	-	334	-
Stage 2	-	-	-	-	515	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1180	-	-	-	331	708
Stage 1	-	-	-	-	725	-
Stage 2	-	-	-	-	600	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1180	-	-	-	316	708
Mov Cap-2 Maneuver	-	-	-	-	316	-
Stage 1	-	-	-	-	692	-
Stage 2	-	-	-	-	600	-
Approach	SE	NW	SW			
HCM Control Delay, s	0.7	0	16.2			
HCM LOS			C			
Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1		
Capacity (veh/h)	-	-	1180	-	419	
HCM Lane V/C Ratio	-	-	0.035	-	0.231	
HCM Control Delay (s)	-	-	8.2	0	16.2	
HCM Lane LOS	-	-	A	A	C	
HCM 95th %tile Q(veh)	-	-	0.1	-	0.9	

Intersection						
Int Delay, s/veh	0.9					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	5	8	73	2	3	58
Future Vol, veh/h	5	8	73	2	3	58
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	9	79	2	3	63

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	149	80	0	0	81	0
Stage 1	80	-	-	-	-	-
Stage 2	69	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	843	980	-	-	1517	-
Stage 1	943	-	-	-	-	-
Stage 2	954	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	841	980	-	-	1517	-
Mov Cap-2 Maneuver	841	-	-	-	-	-
Stage 1	943	-	-	-	-	-
Stage 2	952	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9	0	0.4
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	921	1517
HCM Lane V/C Ratio	-	-	0.015	0.002
HCM Control Delay (s)	-	-	9	7.4
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

14: South Chester Road/Brook Manor Drive

PM Existing Peak Hour

Intersection						
Int Delay, s/veh	0.8					
Movement	NBL	NBT	SBT	SBR	SEL	SER
Lane Configurations		↶	↷		↶	↷
Traffic Vol, veh/h	1	80	58	14	4	3
Future Vol, veh/h	1	80	58	14	4	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	78	78	86	86	44	44
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	103	67	16	9	7

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	83	0	-	0	180 75
Stage 1	-	-	-	-	75 -
Stage 2	-	-	-	-	105 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1514	-	-	-	810 986
Stage 1	-	-	-	-	948 -
Stage 2	-	-	-	-	919 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1514	-	-	-	809 986
Mov Cap-2 Maneuver	-	-	-	-	809 -
Stage 1	-	-	-	-	947 -
Stage 2	-	-	-	-	919 -



















Approach	NB	SB	SE
HCM Control Delay, s	0.1	0	9.2
HCM LOS			A

Minor Lane/Major Mvmt	NBL	NBT	SELn1	SBT	SBR
Capacity (veh/h)	1514	-	876	-	-
HCM Lane V/C Ratio	0.001	-	0.018	-	-
HCM Control Delay (s)	7.4	0	9.2	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-



5: Culver Road & Cahaba Road

PM Existing Peak Hour

												
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (vph)	25	352	4	6	333	26	14	0	15	46	0	29
Future Volume (vph)	25	352	4	6	333	26	14	0	15	46	0	29
Ideal Flow (vphp)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Total Lost time (s)	4.5	4.5			4.5		4.5	4.5			4.5	
Lane Util. Factor	1.00	1.00			1.00		1.00	1.00			1.00	
Frt	1.00	1.00			0.99		1.00	0.85			0.95	
Flt Protected	0.95	1.00			1.00		0.95	1.00			0.97	
Satd. Flow (prot)	1770	1860			1843		1770	1583			1713	
Flt Permitted	0.66	1.00			0.99		1.00	1.00			0.92	
Satd. Flow (perm)	1230	1860			1827		1863	1583			1630	
Peak-hour factor, PHF	0.94	0.94	0.94	0.86	0.86	0.86	0.68	0.68	0.68	0.82	0.82	0.82
Adj. Flow (vph)	27	374	4	7	387	30	21	0	22	56	0	35
RTOR Reduction (vph)	0	1	0	0	4	0	0	19	0	0	30	0
Lane Group Flow (vph)	27	377	0	0	420	0	21	3	0	0	61	0
Turn Type	Perm	NA		Perm	NA		Perm	NA		Perm	NA	
Protected Phases		2			2			4			4	
Permitted Phases	2			2			4			4		
Actuated Green, G (s)	9.9	9.9			9.9		3.5	3.5			3.5	
Effective Green, g (s)	9.9	9.9			9.9		3.5	3.5			3.5	
Actuated g/C Ratio	0.44	0.44			0.44		0.16	0.16			0.16	
Clearance Time (s)	4.5	4.5			4.5		4.5	4.5			4.5	
Vehicle Extension (s)	3.0	3.0			3.0		3.0	3.0			3.0	
Lane Grp Cap (vph)	543	822			807		291	247			254	
v/s Ratio Prot		0.20						0.00				
v/s Ratio Perm	0.02				c0.23		0.01				c0.04	
v/c Ratio	0.05	0.46			0.52		0.07	0.01			0.24	
Uniform Delay, d1	3.6	4.4			4.5		8.1	8.0			8.3	
Progression Factor	1.00	1.00			1.00		1.00	1.00			1.00	
Incremental Delay, d2	0.0	0.4			0.6		0.1	0.0			0.5	
Delay (s)	3.6	4.8			5.1		8.2	8.0			8.8	
Level of Service	A	A			A		A	A			A	
Approach Delay (s)		4.7			5.1			8.1			8.8	
Approach LOS		A			A			A			A	
<b>Intersection Summary</b>												
HCM 2000 Control Delay			5.4				HCM 2000 Level of Service				A	
HCM 2000 Volume to Capacity ratio			0.45									
Actuated Cycle Length (s)			22.4				Sum of lost time (s)				9.0	
Intersection Capacity Utilization			42.4%				ICU Level of Service				A	
Analysis Period (min)			15									

c Critical Lane Group

Appendix D  
Intersection Capacity Printouts – Future Traffic Conditions

1: Brook Manor Drive & Cahaba Road

AM Future Peak Hour

Intersection

Int Delay, s/veh 1

Movement	NBL	NBR	SET	SER	NWL	NWT
Lane Configurations						
Traffic Vol, veh/h	22	12	301	15	9	283
Future Vol, veh/h	22	12	301	15	9	283
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	62	62	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	35	19	331	16	10	311

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	670	339	0
Stage 1	339	-	-
Stage 2	331	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	422	703	-
Stage 1	722	-	-
Stage 2	728	-	-
Platoon blocked, %			
Mov Cap-1 Maneuver	418	703	-
Mov Cap-2 Maneuver	520	-	-
Stage 1	722	-	-
Stage 2	721	-	-

Approach	NB	SE	NW
HCM Control Delay, s	11.9	0	0.2
HCM LOS	B		

Minor Lane/Major Mvmt	NBLn1	NWL	NWT	SET	SER
Capacity (veh/h)	573	1212	-	-	-
HCM Lane V/C Ratio	0.096	0.008	-	-	-
HCM Control Delay (s)	11.9	8	0	-	-
HCM Lane LOS	B	A	A	-	-
HCM 95th %tile Q(veh)	0.3	0	-	-	-

8: Cahaba Road & Heathermore Road

AM Future Peak Hour

Intersection						
Int Delay, s/veh	2.6					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations		↕	↑	↗	↘	
Traffic Vol, veh/h	14	347	216	103	40	98
Future Vol, veh/h	14	347	216	103	40	98
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	75	-	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	81	81	76	76	74	74
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	17	428	284	136	54	132
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	420	0	-	0	746	284
Stage 1	-	-	-	-	284	-
Stage 2	-	-	-	-	462	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1139	-	-	-	381	755
Stage 1	-	-	-	-	764	-
Stage 2	-	-	-	-	634	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1139	-	-	-	373	755
Mov Cap-2 Maneuver	-	-	-	-	373	-
Stage 1	-	-	-	-	749	-
Stage 2	-	-	-	-	634	-
Approach	SE	NW	SW			
HCM Control Delay, s	0.3	0	14.1			
HCM LOS			B			
Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1		
Capacity (veh/h)	-	-	1139	-	582	
HCM Lane V/C Ratio	-	-	0.015	-	0.32	
HCM Control Delay (s)	-	-	8.2	0	14.1	
HCM Lane LOS	-	-	A	A	B	
HCM 95th %tile Q(veh)	-	-	0	-	1.4	

Intersection						
Int Delay, s/veh	3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	5	12	18	2	6	21
Future Vol, veh/h	5	12	18	2	6	21
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	13	20	2	7	23

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	58	21	0	0	22
Stage 1	21	-	-	-	-
Stage 2	37	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	949	1056	-	-	1593
Stage 1	1002	-	-	-	-
Stage 2	985	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	945	1056	-	-	1593
Mov Cap-2 Maneuver	945	-	-	-	-
Stage 1	1002	-	-	-	-
Stage 2	981	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	8.6	0	1.6
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1021	1593
HCM Lane V/C Ratio	-	-	0.018	0.004
HCM Control Delay (s)	-	-	8.6	7.3
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

14: South Chester Road/Brook Manor Drive

AM Future Peak Hour

Intersection						
Int Delay, s/veh	2.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	12	1	0	30	26	2
Future Vol, veh/h	12	1	0	30	26	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	54	54	88	88	65	65
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	2	0	34	40	3




















Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	76	42	43	0	0
Stage 1	42	-	-	-	-
Stage 2	34	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	927	1029	1566	-	-
Stage 1	980	-	-	-	-
Stage 2	988	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	927	1029	1566	-	-
Mov Cap-2 Maneuver	927	-	-	-	-
Stage 1	980	-	-	-	-
Stage 2	988	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1566	-	934	-	-
HCM Lane V/C Ratio	-	-	0.026	-	-
HCM Control Delay (s)	0	-	9	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

5: Culver Road & Cahaba Road

AM Future Peak Hour

													
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR	
Lane Configurations													
Traffic Volume (vph)	25	376	10	15	361	29	26	1	17	34	0	42	
Future Volume (vph)	25	376	10	15	361	29	26	1	17	34	0	42	
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	
Total Lost time (s)	4.5	4.5			4.5		4.5	4.5			4.5		
Lane Util. Factor	1.00	1.00			1.00		1.00	1.00			1.00		
Frt	1.00	1.00			0.99		1.00	0.86			0.93		
Flt Protected	0.95	1.00			1.00		0.95	1.00			0.98		
Satd. Flow (prot)	1770	1856			1841		1770	1599			1686		
Flt Permitted	0.53	1.00			0.98		0.67	1.00			0.84		
Satd. Flow (perm)	989	1856			1813		1243	1599			1446		
Peak-hour factor, PHF	0.89	0.89	0.89	0.91	0.91	0.91	0.50	0.50	0.50	0.68	0.68	0.68	
Adj. Flow (vph)	28	422	11	16	397	32	52	2	34	50	0	62	
RTOR Reduction (vph)	0	1	0	0	2	0	0	31	0	0	56	0	
Lane Group Flow (vph)	28	432	0	0	443	0	52	5	0	0	56	0	
Turn Type	Perm	NA		Perm	NA		Perm	NA		Perm	NA		
Protected Phases		2			2			4			4		
Permitted Phases	2			2			4			4			
Actuated Green, G (s)	58.4	58.4			58.4		7.6	7.6			7.6		
Effective Green, g (s)	58.4	58.4			58.4		7.6	7.6			7.6		
Actuated g/C Ratio	0.78	0.78			0.78		0.10	0.10			0.10		
Clearance Time (s)	4.5	4.5			4.5		4.5	4.5			4.5		
Vehicle Extension (s)	3.0	3.0			3.0		3.0	3.0			3.0		
Lane Grp Cap (vph)	770	1445			1411		125	162			146		
v/s Ratio Prot		0.23						0.00					
v/s Ratio Perm	0.03				c0.24		c0.04				0.04		
v/c Ratio	0.04	0.30			0.31		0.42	0.03			0.39		
Uniform Delay, d1	1.9	2.4			2.4		31.6	30.4			31.5		
Progression Factor	1.00	1.00			1.00		1.00	1.00			1.00		
Incremental Delay, d2	0.1	0.5			0.6		2.2	0.1			1.7		
Delay (s)	2.0	2.9			3.0		33.9	30.5			33.2		
Level of Service	A	A			A		C	C			C		
Approach Delay (s)		2.9			3.0			32.5			33.2		
Approach LOS		A			A			C			C		
<b>Intersection Summary</b>													
HCM 2000 Control Delay			8.4									HCM 2000 Level of Service	A
HCM 2000 Volume to Capacity ratio			0.33										
Actuated Cycle Length (s)			75.0									Sum of lost time (s)	9.0
Intersection Capacity Utilization			51.7%									ICU Level of Service	A
Analysis Period (min)			15										

c Critical Lane Group

Intersection						
Int Delay, s/veh	1.9					
Movement	NBL	NBR	SET	SER	NWL	NWT
Lane Configurations						
Traffic Vol, veh/h	55	49	367	41	18	342
Future Vol, veh/h	55	49	367	41	18	342
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	86	86	96	96
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	65	58	427	48	19	356

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	845	451	0	0	475	0
Stage 1	451	-	-	-	-	-
Stage 2	394	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	333	608	-	-	1087	-
Stage 1	642	-	-	-	-	-
Stage 2	681	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	326	608	-	-	1087	-
Mov Cap-2 Maneuver	447	-	-	-	-	-
Stage 1	642	-	-	-	-	-
Stage 2	666	-	-	-	-	-

Approach	NB	SE	NW
HCM Control Delay, s	14.2	0	0.4
HCM LOS	B		

Minor Lane/Major Mvmt	NBLn1	NWL	NWT	SET	SER
Capacity (veh/h)	511	1087	-	-	-
HCM Lane V/C Ratio	0.239	0.017	-	-	-
HCM Control Delay (s)	14.2	8.4	0	-	-
HCM Lane LOS	B	A	A	-	-
HCM 95th %tile Q(veh)	0.9	0.1	-	-	-



8: Cahaba Road & Heathermore Road

PM Future Peak Hour

Intersection

Int Delay, s/veh 2

Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations		↕	↑	↗	↘	
Traffic Vol, veh/h	37	390	330	42	35	30
Future Vol, veh/h	37	390	330	42	35	30
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	75	-	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	90	90	96	96	65	65
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	41	433	344	44	54	46

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	388	0	859
Stage 1	-	-	344
Stage 2	-	-	515
Critical Hdwy	4.12	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	2.218	-	3.518
Pot Cap-1 Maneuver	1170	-	327
Stage 1	-	-	718
Stage 2	-	-	600
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1170	-	312
Mov Cap-2 Maneuver	-	-	312
Stage 1	-	-	685
Stage 2	-	-	600

Approach	SE	NW	SW
HCM Control Delay, s	0.7	0	16.3
HCM LOS			C

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	1170	419
HCM Lane V/C Ratio	-	-	0.035	0.239
HCM Control Delay (s)	-	-	8.2	16.3
HCM Lane LOS	-	-	A	C
HCM 95th %tile Q(veh)	-	-	0.1	0.9

Intersection						
Int Delay, s/veh	1.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	5	10	73	2	5	58
Future Vol, veh/h	5	10	73	2	5	58
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	11	79	2	5	63

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	153	80	0	0	81
Stage 1	80	-	-	-	-
Stage 2	73	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	839	980	-	-	1517
Stage 1	943	-	-	-	-
Stage 2	950	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	836	980	-	-	1517
Mov Cap-2 Maneuver	836	-	-	-	-
Stage 1	943	-	-	-	-
Stage 2	947	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9	0	0.6
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	927	1517
HCM Lane V/C Ratio	-	-	0.018	0.004
HCM Control Delay (s)	-	-	9	7.4
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

14: South Chester Road/Brook Manor Drive

PM Future Peak Hour

Intersection						
Int Delay, s/veh	0.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	4	3	1	82	60	14
Future Vol, veh/h	4	3	1	82	60	14
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	44	44	78	78	86	86
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	7	1	105	70	16




















Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	185	78	86	0	0
Stage 1	78	-	-	-	-
Stage 2	107	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	804	983	1510	-	-
Stage 1	945	-	-	-	-
Stage 2	917	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	803	983	1510	-	-
Mov Cap-2 Maneuver	803	-	-	-	-
Stage 1	944	-	-	-	-
Stage 2	917	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	9.2	0.1	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1510	-	871	-	-
HCM Lane V/C Ratio	0.001	-	0.018	-	-
HCM Control Delay (s)	7.4	0	9.2	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

5: Culver Road & Cahaba Road


PM Future Peak Hour

													
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR	
Lane Configurations													
Traffic Volume (vph)	25	353	12	16	334	26	23	0	26	46	0	29	
Future Volume (vph)	25	353	12	16	334	26	23	0	26	46	0	29	
Ideal Flow (vphp)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	
Total Lost time (s)	4.5	4.5			4.5		4.5	4.5				4.5	
Lane Util. Factor	1.00	1.00			1.00		1.00	1.00				1.00	
Frt	1.00	0.99			0.99		1.00	0.85				0.95	
Flt Protected	0.95	1.00			1.00		0.95	1.00				0.97	
Satd. Flow (prot)	1770	1853			1841		1770	1583				1713	
Flt Permitted	0.54	1.00			0.98		0.75	1.00				0.79	
Satd. Flow (perm)	997	1853			1808		1402	1583				1395	
Peak-hour factor, PHF	0.94	0.94	0.94	0.86	0.86	0.86	0.68	0.68	0.68	0.82	0.82	0.82	
Adj. Flow (vph)	27	376	13	19	388	30	34	0	38	56	0	35	
RTOR Reduction (vph)	0	1	0	0	2	0	0	34	0	0	32	0	
Lane Group Flow (vph)	27	388	0	0	435	0	34	4	0	0	60	0	
Turn Type	Perm	NA		Perm	NA		Perm	NA		Perm	NA		
Protected Phases		2			2			4				4	
Permitted Phases	2			2			4			4			
Actuated Green, G (s)	58.5	58.5			58.5		7.5	7.5				7.5	
Effective Green, g (s)	58.5	58.5			58.5		7.5	7.5				7.5	
Actuated g/C Ratio	0.78	0.78			0.78		0.10	0.10				0.10	
Clearance Time (s)	4.5	4.5			4.5		4.5	4.5				4.5	
Vehicle Extension (s)	3.0	3.0			3.0		3.0	3.0				3.0	
Lane Grp Cap (vph)	777	1445			1410		140	158				139	
v/s Ratio Prot		0.21						0.00					
v/s Ratio Perm	0.03				c0.24		0.02					c0.04	
v/c Ratio	0.03	0.27			0.31		0.24	0.02				0.43	
Uniform Delay, d1	1.9	2.3			2.4		31.1	30.4				31.7	
Progression Factor	1.00	1.00			1.00		1.00	1.00				1.00	
Incremental Delay, d2	0.1	0.5			0.6		0.9	0.1				2.1	
Delay (s)	1.9	2.8			3.0		32.0	30.5				33.8	
Level of Service	A	A			A		C	C				C	
Approach Delay (s)		2.7			3.0			31.2				33.8	
Approach LOS		A			A			C				C	
<b>Intersection Summary</b>													
HCM 2000 Control Delay			7.6									A	
HCM 2000 Volume to Capacity ratio			0.32										
Actuated Cycle Length (s)			75.0								9.0		
Intersection Capacity Utilization			50.8%									A	
ICU Level of Service												A	
Analysis Period (min)			15										

c Critical Lane Group

# **Appendix D**

## Title Commitment

 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Commitment</b>	

**COMMITMENT FOR TITLE INSURANCE**

Issued By

**FIRST AMERICAN TITLE INSURANCE COMPANY**

**NOTICE**

**IMPORTANT—READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

**COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, **First American Title Insurance Company**, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within 30 days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

**If this jacket was created electronically, it constitutes an original document.**

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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## COMMITMENT CONDITIONS

### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

### 5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I—Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

### 6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

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- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

Arbitration provision intentionally removed.

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First American Title™

# ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

## Schedule A

**Transaction Identification Data for reference only:**

Issuing Agent: John A. Baggett

Issuing Office's ALTA® Registry ID: 1165638

Commitment No.: E-4216

Property Address: 2900 Cahaba Road, Mountain Brook, AL  
35223

Issuing Office: Statewide Title Services, Inc.

Loan ID No.:


Issuing Office File No.: E-4216

Revision No.:

### SCHEDULE A

1. Commitment Date: 08/03/2022 at 8:00 AM
2. Policy to be issued:
  - (a) ALTA Owner's Policy (6-17-06)  
Proposed Insured: **A natural person or legal entity to be determined**  
Proposed Policy Amount: **\$1,000.00**
  - (b) ALTA Loan Policy (6-17-06)  
Proposed Insured: **A natural person or legal entity to be determined**  
Proposed Policy Amount: **\$1,000.00**
3. The estate or interest in the Land described or referred to in this Commitment is fee simple
4. The Title is, at the Commitment Date, vested in:  
MTB Office Park LLC, an Alabama Limited Liability Company by statutory warranty deed from George Ladd, an unmarried individual dated 01/01/2018 and recorded with Jefferson County (Birmingham Division) Recording Office on 02/05/2018 as Instrument #2018011338.
5. The Land is described as follows:  
Property description set forth in Exhibit A attached hereto and made a part hereof.

### FIRST AMERICAN TITLE INSURANCE COMPANY

By: 

Authorized Signatory  
John A. Baggett, License #: 659550  
Statewide Title Services, Inc., License No. 0188509

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Schedule BI</b>	

Commitment No.: E-4216

**SCHEDULE B, PART I**

**Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Duly Authorized Warranty Deed from MTB Office Park LLC to the proposed insured. NOTE: We must be furnished a copy of (1) Company Agreement, (2) all amendments thereto, (3) current membership roster and (4) a certificate of good standing of said limited liability company. Unless the deed is executed by all members, we must also be furnished evidence satisfactory to the Company that all necessary consents, authorizations, resolutions, notices and actions relating to the deed and the execution and delivery of the deed as required under applicable law and the governing documents have been conducted, given or properly waived.

NOTE: Proper completion and attestation of the Real Estate Sales Validation Form and submission to the Judge of Probate in accordance with Code of Alabama (1975), Section 40-22-1. This requirement may otherwise be satisfied by including on the conveyance document the grantor's name and mailing address, grantee's name and mailing address, property address, date of sale and total purchase price

6. The Company will require a statement from The City of Mountain Brook, AL. Stating that there are no unpaid municipal improvement assessments.
7. Because the subject property is commercial property (which is all property other than a single family residential home, a mobile home, a residential lot, a townhouse, a condominium or property conveyed to a governmental entity or to a utility) we require the following: A sworn statement from both the Seller(s) and the Purchaser(s) that there is not unpaid or disputed real commission, all compensation due or to become due under any listing, agency or other brokerage agreement has been paid or has been waived in writing by the potential lien claimant, and there has been no written notice received concerning any unpaid real estate commission which could give rise to a Broker's Lien under Act. #98-160, regular Session, 1998, Alabama Legislature (Sec. 35-11-450 et seq, Code of Alabama, 1975).

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*First American Title™*

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

# Schedule BI

Commitment No.: E-4216

### SCHEDULE B, PART I

#### Requirements (Continued)

8. Proper statement from the Jefferson County Sewer Service Department stating that all sanitary sewer services charges are paid to date. (Please call 205-325-5390 and provide Parcel I.D. number or street address).
9. NOTE 1: Taxes for the year 2021 are Paid under ID # 28-00-08-3-008-012.002 in the amount of \$37,250.30 The above tax information is provided for informational purposes only. Tax information has been based on the present assessment rolls, but is subject to any changes or future adjustments that may be made by the tax assessor or by the County's Board of Equalization. No liability is assumed for the accuracy of the amount of taxes paid or for any changes imposed by said County authority.

NOTE 2: All papers are to be filed for record in the Probate Office of Jefferson County, Alabama. (The documents to be recorded are required to be filed in a timely manner. The ALTA BEST PRACTICES require said documents to be recorded within two (2) business days of the disbursement.)

NOTE 3: Please forward a copy of all recorded documents in this transaction at your earliest convenience.

NOTE 4: Alabama Code Section 40-18-86 requires the purchaser to withhold a percentage of the proceeds from the sale or transfer of real estate by non residents of the State of Alabama. The purchaser should determine if the seller is a non resident of Alabama within the meaning of Code Section 40-18-86 and if the transaction is subject to the withholding requirement.

NOTE 5: STATEWIDE TITLE SERVICES, INC. incorporates the Privacy Policy Notice as specifically set out in the attached notice.

NOTE 6: A bankruptcy search has not been performed and no liability is assumed hereunder for matters relating to same.

10. The Company reserves the right to make other and further requirements and/or exceptions upon receipt and review of additional information.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Schedule BII</b>	

Commitment No.: E-4216

**SCHEDULE B, PART II**

**Exceptions**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attached, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I — Requirements are met.
2. Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable.
3. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
4. Any facts, rights, interests, or claims that are not shown in the Public Records, but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
5. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
6. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
7. Any lien, or right to a lien, for services, labor or materials in connection with improvements, repairs or renovations provided before, on or after Date of Policy, not shown by the Public Records.
8. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

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*First American Title*™

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

# Schedule BII

Commitment No.: E-4216

### SCHEDULE B, PART II

#### Exceptions (Continued)


9. Easements and conditions as shown on recorded plat.
10. Terms of those certain easements for ingress and egress and parking as described in Instrument No. 2018011338 (items i to iii) as recorded in the Office of the Judge of Probate of Jefferson County, Alabama.
11. Temporary easement for access and ingress and egress as described in Instrument No. 2018011338 (items iv and v) in the aforesaid Probate Office,
12. Easements, right to relocate and conditions as described in that certain deed recorded in Real Volume 4297, Page 641 in the aforesaid Probate Office.
13. Transmission Line Permits in favor of Alabama Power Company as recorded in Volume 3336, Page 191 and in Real Volume 1924, Page 465 in the aforesaid Probate Office.
14. Right of Parties in Possession under unrecorded leases.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Exhibit A</b>	

Commitment No.: E-4216

The Land referred to herein below is situated in the County of Jefferson, State of Alabama, and is described as follows:

Lot 2, Village Green, as recorded in Map Book 171, Page 50 in the Office of the Judge of Probate of Jefferson County, Alabama

Together with the following:

(i) A non-exclusive easement for ingress and egress to the Property from Southchester Road over and across the following described portion of Lot 1, Village Green, as recorded in Map Book 171, page 50, in the office of the Judge of Probate of Jefferson County, Alabama (the "Rear Access Easement"):

Being a parcel of land situated in the NE1/4 of the SW1/4 of Section 8, Township 18 South, Range 2 West being more particularly described as follows:

Commence at the Southwest corner of the NE1/4 of the SW1/4 of Section 8, Township 18 South, Range 2 West and run East along the South line of said 1/4-1/4 section a distance of 204.4 feet to a point; thence 54°22' to the left in a Northeasterly direction a distance of 388.72 feet to a point; thence 65°55' to the left in a Northwesterly direction a distance of 327.22 feet to the POINT OF BEGINNING; thence continue along the last described course a distance of 87.00 feet to a point on the Southeasterly right-of-way line of Southchester Road; thence 47°34'13" to the right in a Northeasterly direction along the Southeasterly right-of-way line of Southchester Road a distance of 85.00 feet to a point; thence 132°12'29" to the right in a Southeasterly direction a distance of 114.21 feet to a point; thence 64°43'18" to the right in a Southwesterly direction a distance of 70.00 feet to the POINT OF BEGINNING;

(ii) A non-exclusive easement for the parking of automobiles, limited, however, to the parking of seven (7) automobiles in the spaces now existing or hereafter constructed in the Rear Access Easement;

(iii) A non-exclusive easement for ingress and egress to the Property from Cahaba Road over and across the following described portion of Lot 1, Village Green, as recorded in Map Book 171, page 50, in the office of the Judge of Probate of Jefferson County, Alabama (the "Front Access Easement - North Portion"):

Being a parcel of land situated in the NE1/4 of the SW1/4 of Section 8, Township 18 South, Range 2 West, being more particularly described as follows:

Commence at the Southwest corner of the NE1/4 of the SW1/4 of Section 8, Township 18 South, Range 2 West and run East along the South line of said 1/4-1/4 section a distance of 204.4 feet to a point; thence 54°22' to the left in a Northeasterly direction a distance of 388.72 feet to a point; thence 65°55' to the left in a Northwesterly direction a distance of 327.22 feet to a point; thence 64°30' to the right in a Northeasterly direction a distance of 180.00 feet to a point; thence 0°38'55" to the right in a Northeasterly direction a distance of 105.23 feet to the POINT OF BEGINNING; thence continue along the last stated course a distance of 111.66 feet to a point on the Southwesterly right-of-way line of Cahaba Road; thence 88°43'26" to the left in a Northwesterly direction along the Southwesterly right-of-way line of Cahaba Road a distance of 35.00 feet to a point; thence 90°00' to the left in a Southwesterly direction a distance of 18.26 feet to the P.C. (point of curve) of a curve to the left having a radius of 135.00 feet and a central angle of 43°45'39"; thence in a Southwesterly and Southerly direction in the arc of said curve a distance of 103.11 feet to the POINT OF BEGINNING;



## Privacy Notice

**Effective:** October 1, 2019

**Notice Last Updated:** January 1, 2022

This Privacy Notice describes how First American Financial Corporation and its subsidiaries and affiliates (together referred to as “First American,” “we,” “us,” or “our”) collect, use, store, and share your information with the exception that a subsidiary or affiliate has their own privacy policy, that policy governs. This Privacy Notice applies to information we receive from you offline only, as well as from third parties, when you interact with us and/or use and access our services and products (“Products”). For more information about our privacy practices, including our online practices, please visit <https://www.firstam.com/privacy-policy/>. The practices described in this Privacy Notice are subject to applicable laws in the places in which we operate.

**What Type Of Information Do We Collect About You?** We collect a variety of categories of information about you. To learn more about the categories of information we collect, please visit <https://www.firstam.com/privacy-policy/>.

**How Do We Collect Your Information?** We collect your information: (1) directly from you; (2) automatically when you interact with us; and (3) from third parties, including business parties and affiliates.

**How Do We Use Your Information?** We may use your information in a variety of ways, including but not limited to providing the services you have requested, fulfilling your transactions, comply with relevant laws and our policies, and handling a claim. To learn more about how we may use your information, please visit <https://www.firstam.com/privacy-policy/>.

**How Do We Share Your Information?** We do not sell your personal information. We only share your information, including to subsidiaries, affiliates, and to unaffiliated third parties: (1) with your consent; (2) in a business transfer; (3) to service providers; and (4) for legal process and protection. To learn more about how we share your information, please visit <https://www.firstam.com/privacy-policy/>.

**How Do We Store and Protect Your Information?** The security of your information is important to us. That is why we take commercially reasonable steps to make sure your information is protected. We use our best efforts to maintain commercially reasonable technical, organizational, and physical safeguards, consistent with applicable law, to protect your information.

**How Long Do We Keep Your Information?** We keep your information for as long as necessary in accordance with the purpose for which it was collected, our business needs, and our legal and regulatory obligations.

**Your Choices** We provide you the ability to exercise certain controls and choices regarding our collection, use, storage, and sharing of your information. You can learn more about your choices by visiting <https://www.firstam.com/privacy-policy/>.

**International Jurisdictions:** Our Products are offered in the United States of America (US), and are subject to US federal, state, and local law. If you are accessing the Products from another country, please be advised that you may be transferring your information to us in the US, and you consent to that transfer and use of your information in accordance with this Privacy Notice. You also agree to abide by the applicable laws of applicable US federal, state, and local laws concerning your use of the Products, and your agreements with us.

We may change this Privacy Notice from time to time. Any and all changes to this Privacy Notice will be reflected on this page, and where appropriate provided in person or by another electronic method. **YOUR CONTINUED USE, ACCESS, OR INTERACTION WITH OUR PRODUCTS OR YOUR CONTINUED COMMUNICATIONS WITH US AFTER THIS NOTICE HAS BEEN PROVIDED TO YOU WILL REPRESENT THAT YOU HAVE READ AND UNDERSTOOD THIS PRIVACY NOTICE.**

**Contact Us** [dataprivacy@firstam.com](mailto:dataprivacy@firstam.com) or toll free at 1-866-718-0097.



### **For California Residents**

If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act of 2018 (“CCPA”). All phrases used in this section shall have the same meaning as those phrases are used under California law, including the CCPA.

**Right to Know.** You have a right to request that we disclose the following information to you: (1) the categories of **personal information** we have collected about or from you; (2) the categories of sources from which the **personal information** was collected; (3) the business or commercial purpose for such collection and/or disclosure; (4) the categories of third parties with whom we have shared your **personal information**; and (5) the specific pieces of your **personal information** we have collected. To submit a verified request for this information, go to our online privacy policy at [www.firstam.com/privacy-policy](http://www.firstam.com/privacy-policy) to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at [www.firstam.com/privacy-policy](http://www.firstam.com/privacy-policy) to submit your request or by calling toll-free at 1-866-718-0097

**Right of Deletion.** You also have a right to request that we delete the **personal information** we have collected from and about you. This right is subject to certain exceptions available under the CCPA and other applicable law. To submit a verified request for deletion, go to our online privacy policy at [www.firstam.com/privacy-policy](http://www.firstam.com/privacy-policy) to submit your request or call toll-free at 1-866-718-0097. You may also designate an authorized agent to submit a request on your behalf by going to our online privacy policy at [www.firstam.com/privacy-policy](http://www.firstam.com/privacy-policy) to submit your request or by calling toll-free at 1-866-718-0097.

**Verification Process.** For either a request to know or delete, we will verify your identity before responding to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the information requested, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

**Notice of Sale.** We do not sell California resident information, nor have we sold California resident information in the past 12 months. To the extent any First American affiliated entity has a different practice, it will be stated in the applicable privacy policy. We have no actual knowledge of selling the information of minors under the age of 16.

**Right of Non-Discrimination.** You have a right to exercise your rights under California law, including under the CCPA, without suffering discrimination. Accordingly, First American will not discriminate against you in any way if you choose to exercise your rights under the CCPA.

**Notice of Collection.** To learn more about the categories of **personal information** we have collected about California residents over the last 12 months, please see “What Information Do We Collect About You” in <https://www.firstam.com/privacy-policy>. To learn about the sources from which we have collected that information, the business and commercial purpose for its collection, and the categories of third parties with whom we have shared that information, please see “How Do We Collect Your Information”, “How Do We Use Your Information”, and “How Do We Share Your Information” in <https://www.firstam.com/privacy-policy>.

**Notice of Sale.** We have not sold the **personal information** of California residents in the past 12 months.

**Notice of Disclosure.** To learn more about the categories of **personal information** we may have disclosed about California residents in the past 12 months, please see “How Do We Use Your Information” and “How Do We Share Your Information” in <https://www.firstam.com/privacy-policy>.



THIS INSTRUMENT PREPARED BY:  
 K. Henson Millsap, Esq.  
 Mixon Firm, LLC  
 2 Perimeter Park S #550E  
 Birmingham, AL 35243

Send tax notices to:  
 MTB Office Park LLC  
 Attn: Ladd Tucker  
 6 Office Park Circle, Ste 111  
 Birmingham, AL 35223

STATE OF ALABAMA )  
 JEFFERSON COUNTY )

**STATUTORY WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, that for and in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid to **GEORGE LADD**, an unmarried individual ("Grantor"), by **MTB OFFICE PARK LLC**, an Alabama limited liability company ("Grantee"), the receipt of which is acknowledged, Grantor does hereby **GRANT, BARGAIN, SELL AND CONVEY** unto Grantee, its successors and assigns, that certain real property situated in Jefferson County, Alabama, which is described on Exhibit A attached hereto and made a part hereof (the "Property").

**TO HAVE AND TO HOLD** unto Grantee, and Grantee's successors and assigns, forever.

It is expressly understood and agreed that this Statutory Warranty Deed is made subject to all easements, rights-of-way, protective covenants, mineral reservations and other items of record, if any, and the rights of tenants under unrecorded leases, if any (the "Exceptions").

And Grantor, for Grantor, and Grantor's successors and assigns, covenants with Grantee, and its successors and assigns, that Grantor is lawfully seized in fee simple of the Property; that Grantor has a good right to sell and convey the same as aforesaid; that Grantor and Grantor's successors and assigns, shall warrant and defend the same to Grantee and its successors and assigns, forever, against the lawful claims and demands of all persons claiming by, through or under Grantor but not otherwise, other than persons claiming under the Exceptions.

Pursuant to the provisions of Ala. Code § 40-22-1 (1975), the following information is offered in lieu of submitting Form RT-1:

Grantor's Name and Mailing Address:	Grantee's Name and Mailing Address:
George Ladd	MTB Office Park LLC
6 Office Park Circle, Ste 111	6 Office Park Circle, Ste 111
Birmingham, AL 35223	Birmingham, AL 35223
Parcel ID:	28-00-08-3-008-012.002
Property Address:	2900 Cahaba Road Birmingham, AL 35223
Date of Sale:	January 1, 2018
Tax Assessor's Market Value:	\$2,590,000

[Signature on following page]

IN WITNESS WHEREOF, Grantor has caused this Statutory Warranty Deed to be effective as of the Date of Sale referenced above, although actually executed on the date set forth in the acknowledgment below.

**GRANTOR:**

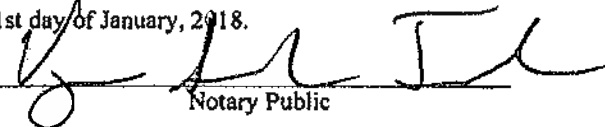
  
\_\_\_\_\_  
GEORGE LADD

STATE OF ALABAMA        )  
COUNTY OF JEFFERSON    )

I, the undersigned authority, a Notary Public in and for said county in said state, hereby certify that **GEORGE LADD**, whose name is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, he executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this the 1st day of January, 2018.



  
\_\_\_\_\_  
Notary Public

MY COMMISSION EXPIRES JANUARY 28, 2020

**EXHIBIT A**

**Legal Description**

**Lot 2, Village Green, as recorded in Map Book 171, Page 50 in the Office of the Judge of Probate of Jefferson County, Alabama**

**TOGETHER WITH (a) any land lying in or under the bed of any street, alley, road or right-of-way open, or proposed, abutting or adjacent to the Property, (b) any and all easements, rights-of-ways or other appurtenances of any kind or nature which in any manner serve the Property, and (c) all fixtures and other improvements situated on the Property owned by Grantor; and together with the following:**

- (i) **A non-exclusive easement for ingress and egress to the Property from Southchester Road over and across the following described portion of Lot 1, Village Green, as recorded in Map Book 171, page 50, in the office of the Judge of Probate of Jefferson County, Alabama (the "Rear Access Easement"):**

**Being a parcel of land situated in the NE $\frac{1}{4}$  of the SW $\frac{1}{4}$  of Section 8, Township 18 South, Range 2 West being more particularly described as follows:**

**Commence at the Southwest corner of the NE $\frac{1}{4}$  of the SW $\frac{1}{4}$  of Section 8, Township 18 South, Range 2 West and run East along the South line of said  $\frac{1}{4}$ - $\frac{1}{4}$  section a distance of 204.4 feet to a point; thence 54°22' to the left in a Northeasterly direction a distance of 388.72 feet to a point; thence 65°55' to the left in a Northwesterly direction a distance of 327.22 feet to the POINT OF BEGINNING; thence continue along the last described course a distance of 87.00 feet to a point on the Southeasterly right-of-way line of Southchester Road; thence 47°34'13" to the right in a Northeasterly direction along the Southeasterly right-of-way line of Southchester Road a distance of 85.00 feet to a point; thence 132°12'29" to the right in a Southeasterly direction a distance of 114.21 feet to a point; thence 64°43'18" to the right in a Southwesterly direction a distance of 70.00 feet to the POINT OF BEGINNING;**

- (ii) **A non-exclusive easement for the parking of automobiles, limited, however, to the parking of seven (7) automobiles in the spaces now existing or hereafter constructed in the Rear Access Easement;**

- (iii) A non-exclusive easement for ingress and egress to the Property from Cahaba Road over and across the following described portion of Lot 1, Village Green, as recorded in Map Book 171, page 50, in the office of the Judge of Probate of Jefferson County, Alabama (the "Front Access Easement -- North Portion"):

Being a parcel of land situated in the NE¼ of the SW¼ of Section 8, Township 18 South, Range 2 West, being more particularly described as follows:

Commence at the Southwest corner of the NE¼ of the SW¼ of Section 8, Township 18 South, Range 2 West and run East along the South line of said ¼-¼ section a distance of 204.4 feet to a point; thence 54°22' to the left in a Northeasterly direction a distance of 388.72 feet to a point; thence 65°55' to the left in a Northwesterly direction a distance of 327.22 feet to a point; thence 64°30' to the right in a Northeasterly direction a distance of 180.00 feet to a point; thence 0°38'55" to the right in a Northeasterly direction a distance of 105.23 feet to the POINT OF BEGINNING; thence continue along the last stated course a distance of 111.66 feet to a point on the Southwesterly right-of-way line of Cahaba Road; thence 88°43'26" to the left

in a Northwesterly direction along the Southwesterly right-of-way line of Cahaba Road a distance of 35.00 feet to a point; thence 90°00' to the left in a Southwesterly direction a distance of 18.26 feet to the P.C. (point of curve) of a curve to the left having a radius of 135.00 feet and a central angle of 43°45'39"; thence in a Southwesterly and Southerly direction in the arc of said curve a distance of 103.11 feet to the POINT OF BEGINNING;

- (iv) A temporary non-exclusive easement for ingress and egress to the Property from Cahaba Road over and across that portion of the entrance roadway which is presently located on Lot 1 of the Village Green, as recorded in Map Book 171, Page 50 in the Office of the Judge of Probate of Jefferson County, Alabama ("Lot 1"); provided, however, that this temporary non-exclusive easement shall automatically terminate when the Grantor relocates the entrance roadway approximately fifty (50) feet South of its present location; and
- (v) A temporary easement for access to Lot 1 for the purpose of repairing and maintaining all utility services which serve the Property and are located on Lot 1; provided, however, that this temporary easement shall terminate if the Grantee, or its successors or assigns, elects to relocate such utility services in accordance with the provisions of clause (ii) of the reservation provision below.

THE STATE OF ALABAMA )  
MOBILE COUNTY )

KNOW ALL MEN BY THESE PRESENTS:

*m. Neal*  
*15*

That for and in consideration of Forty Thousand and No/100 - - - DOLLARS to the undersigned grantor Thomas J. Toolen, Bishop of Mobile, a corporation sole, in hand paid by Liberty National Life Insurance Company, a corporation the receipt whereof is hereby acknowledged, the said Thomas J. Toolen, Bishop of Mobile, a corporation sole does grant, bargain, sell, and convey unto the said Liberty National Life Insurance Company, the following described

real estate, to-wit: A tract of land situated in the Northeast Quarter (NE $\frac{1}{4}$ ) of the Southwest Quarter (SW $\frac{1}{4}$ ) of Section 8, Township 18, South, Range 2 West, in Jefferson County, Alabama, more particularly described as follows: Begin at the Southwest corner of the Northeast Quarter of Southwest Quarter of Section 8, Township 18, South Range 2 West; thence East along the South line of said Northeast Quarter of Southwest Quarter a distance of two hundred and four and  $\frac{4}{10}$  (204.4) feet to a point; thence 54 degrees 22 minutes to the left in a Northeasterly direction a distance of three hundred and eighty-eight and  $\frac{72}{100}$  (388.72) feet to the point of beginning; thence 65 degrees 55 minutes to the left in a Northwesterly direction a distance of four hundred and fourteen and  $\frac{47}{100}$  (414.47) feet to a point in the Southeast line of Southchester Road; thence 47 degrees 30 minutes to the right in a Northeasterly direction a distance of three hundred and one and  $\frac{29}{100}$  (301.29) feet along said road to a point; thence 32 degrees 23 minutes to the right in a Northeasterly direction along said road a distance of seventy-nine and  $\frac{7}{100}$  (79.07) feet to a point on the Southwesterly right of way line of the Cahaba Road; thence 76 degrees 32 minutes to the right in a Southeasterly direction along said Southwesterly right of way line of the Cahaba Road, said line being twenty-five and  $\frac{0}{10}$  (25.0) feet from and parallel to the center line of said road a distance of four hundred and thirty and  $\frac{0}{10}$  (430.0) feet to a point; thence 90 degrees 00 minutes to the right in a Southwesterly direction a distance of ten and  $\frac{0}{10}$  (10.0) feet to a point; thence 90 degrees 00 minutes to the left in a Southeasterly direction thirty-five and  $\frac{0}{10}$  (35.0) feet from and parallel to the center line of said Cahaba Road a distance of sixty and  $\frac{0}{10}$  (60.0) feet to a point; thence 90 degrees 00 minutes to the left in a Northwesterly direction a distance of five and  $\frac{0}{10}$  (5.0) feet to a point; thence 90 degrees 00 minutes to the right in a Southeasterly direction along the Southwesterly right of way line of the Cahaba Road; said line being thirty (30) feet from and parallel to the center line of said Cahaba Road a distance of one hundred and eighty-seven and  $\frac{32}{100}$  (187.32) feet to a point; thence 90 degrees to the right in a Southwesterly direction a distance of two hundred and twenty-nine and  $\frac{6}{100}$  (229.06) feet to a point; thence 58 degrees 56 minutes to the right in a Northwesterly direction a distance of one hundred and forty-three and  $\frac{10}{100}$  (143.10) feet to a point; thence 35 degrees 21 minutes to the left in a Southwesterly direction a distance of two hundred and forty (240) feet to the point of beginning, contain 6 acres, more or less, mining and mineral rights excepted; subject to ad valorem taxes assessed against said property, which will be due October 1, 1952.

situated in Jefferson County, Alabama.

TO HAVE AND TO HOLD unto the said Liberty National Life Insurance Company, its successors and assigns forever.

And the said grantor does itself, and for its successors and assigns, covenant with the said Liberty National Life Insurance Co. its successors and assigns, that it is lawfully seized and possessed of said premises, that they are free from

all encumbrances, that it has a good right to sell and convey the same as aforesaid; that it will, and its successors and assigns shall, warrant and defend the same unto the said Liberty National Life Insurance Company, its successors and assigns forever, against the lawful claims of all persons, except as above stated; and

For the foregoing consideration, the said Thomas J. Toolen, Bishop of Mobile, a corporation, sole, does remise, release, quit claim and convey to the said Liberty National Life Insurance Company, all of the grantor's right, title, interest and claim in or to the following described real estate, to-wit:

The minerals and mining rights and privileges in and upon the above described tract of land, the interest of the grantor in said minerals and mining rights being an undivided seventeenth-twentieths;

TO HAVE AND TO HOLD the said undivided interest in said minerals and mining rights and privileges unto the said Liberty National Life Insurance Company, its successors and assigns forever.

IN WITNESS WHEREOF, The said Thomas J. Toolen, Bishop of Mobile, a corporation sole has caused these presents to be executed by Thomas J. Toolen, Catholic Bishop of the Diocese of Mobile, duly authorized thereto, and attested by Phillip Cullen, Chancellor of the said Diocese who affixed its corporate seal hereto, being duly authorized thereto, on this the 16<sup>th</sup> day of August, 1952.

Thomas J. Toolen, Bishop of Mobile, a corporation  
sole



Phillip Cullen  
Chancellor

By Thomas J. Toolen  
Catholic Bishop of the Diocese  
of Mobile



IN WITNESS WHEREOF, I, MARY MCCOLLON  
Notary Public for the State of Alabama

THE STATE OF ALABAMA }  
MOBILE COUNTY }

DEED 4839 PAGE 498

I, Marie McDarron, a Notary Public

in and for said County, in said State, hereby certify that Thomas J. Toolen whose name as Catholic-Bishop of the Diocese of Mobile of the Thomas J. Toolen, Bishop of Mobile a corporation sole is signed to the foregoing conveyance, and who is known to me, acknowledged before me on this day that, being informed of the contents of the conveyance; he, as such officer and with full authority, executed the same voluntarily for and as the act of said corporation.

Given under my hand this 18, day of August, 1952.

Marie McDarron  
Notary Public  
Mobile county, Alabama



of the State of Alabama  
County of Mobile  
This instrument is subject to the payment of the following taxes:  
State Tax  
County Tax  
City Tax  
Total \$4.00

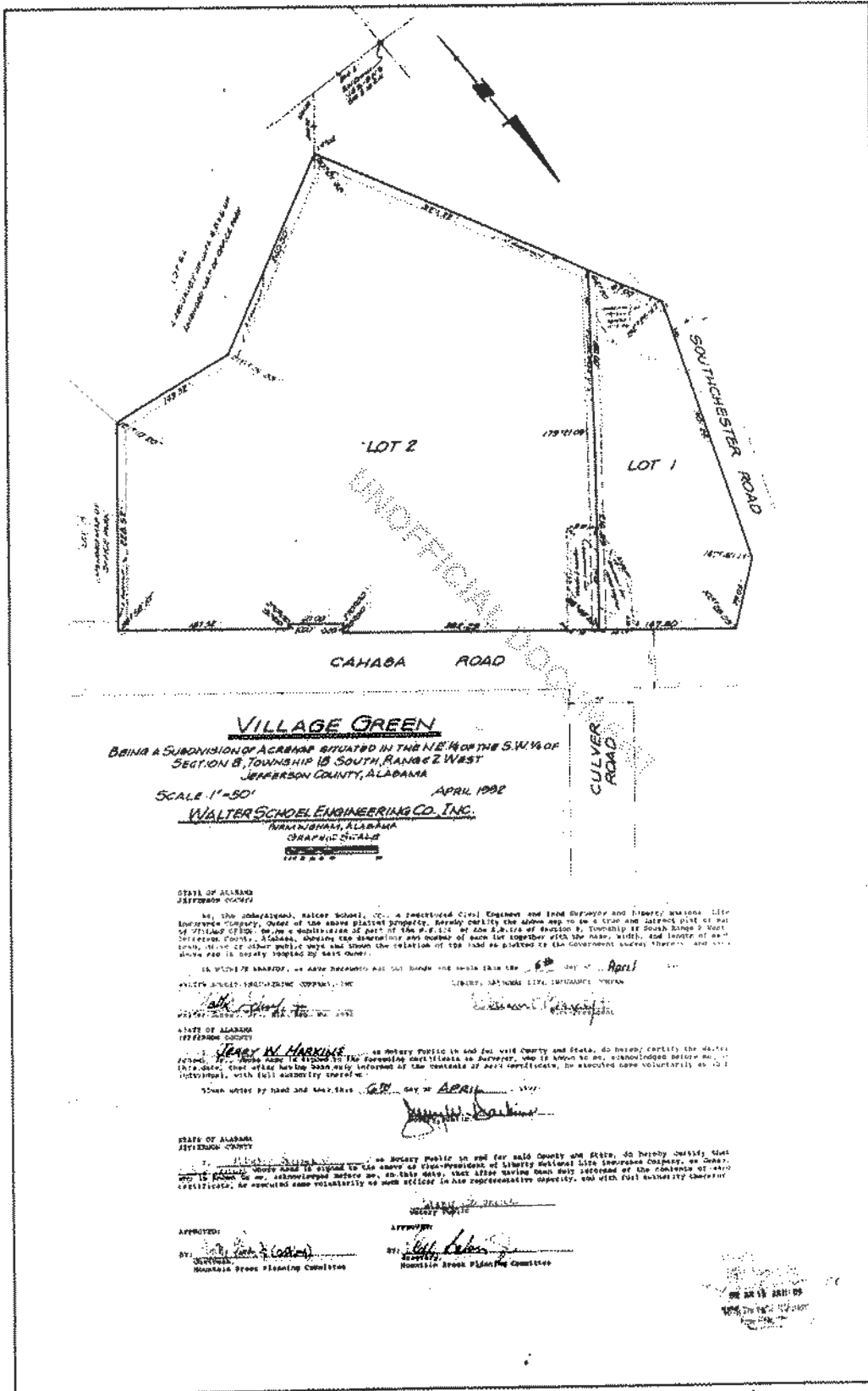
I HEREBY CERTIFY THAT THE DEED TAX HAS BEEN PAID ON THIS INSTRUMENT.

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of my office, this 18th day of August, 1952.

RECORDED IN OFFICE FOR RECORD THIS 21st DAY OF AUGUST 1952.

DEED 4839 PAGE 498

YOUNG GARNER, Notary Public, Mobile County, Alabama



**VILLAGE GREEN**  
 BEING A SUBDIVISION OF ACRABAR SITUATED IN THE NE 1/4 OF THE SW 1/4 OF SECTION 8, TOWNSHIP 18 SOUTH, RANGE 2 WEST, JEFFERSON COUNTY, ALABAMA

SCALE 1"=50' APRIL 1992

**WALTER SCHUEL ENGINEERING CO. INC.**

WALKERDALE, ALABAMA  
 CHARLES SCHUEL  
 CHIEF PLAT SURVEYOR

STATE OF ALABAMA  
 JEFFERSON COUNTY

As the undersigned, Walter Schuel, C.E., a Registered Civil Engineer and Land Surveyor and hereby declare that I am the owner of the above platting property, hereby certify the above map to be a true and correct plat of part of the ACRABAR being a subdivision of part of the S.W. 1/4 of the N.E. 1/4 of Section 8, Township 18 South Range 2 West Jefferson County, Alabama, showing the bearings and number of each lot together with the name, width, and length of each lot, of the lot or other public ways and show the relation of the land so platted to the government survey thereon, and that the same is being platted by said owner.

IN WITNESS WHEREOF, we have hereunto set our hand and seal this 6th day of April 1992

WALTER SCHUEL ENGINEERING COMPANY, INC. WALKERDALE, ALABAMA  
 Charles Schuel, Chief Plat Surveyor

STATE OF ALABAMA  
 JEFFERSON COUNTY

JERRY W. HARKINS, as Notary Public in and for said County and State, do hereby certify that the above map is filed in the foregoing jurisdiction as Surveyor, who is known to me, acknowledged before me, and that after having been duly informed of the contents of said certificate, he executed same voluntarily, as to his individual, with full authority therefor.

Given under my hand and seal this 6th day of April 1992

STATE OF ALABAMA  
 JEFFERSON COUNTY

I, JERRY W. HARKINS, as Notary Public in and for said County and State, do hereby certify that the above map is signed to the above as Vice-President of Liberty National Life Insurance Company, as Secretary, and is known to me, acknowledged before me, and that after having been duly informed of the contents of said certificate, he executed same voluntarily as such officer in his representative capacity, and with full authority therefor.

APPROVED: JERRY W. HARKINS, SECRETARY

APPROVED: JERRY W. HARKINS, SECRETARY

BY: JERRY W. HARKINS, Mountain Brook Planning Committee



PLU Mountain Brook Estates Inc  
(No Seal) By Robt Jemison  
Bham Jr. Pres Attest A B Fennner  
Vol. 3536 Sec

TRANSMISSION LINE PERMIT

Dated 25 May 1942

Page 191

Filed 25 June 1942

CONS: \$1.00 paid.

Alabama Power Company

GRANTS:

The right to construct, operate and maintain its lines of poles and towers and appliances necessary in connection therewith as located by the final location survey here to force made by said Company, for the transmission of electric power with the right to string thereon from time to time electric power and telephone wires and the right to permit other corporations and persons to attach wires to said poles and towers upon, over and across the following described lands situated in Jefferson County, Alabama:

(See reverse side for description of property)

Together with all the rights and privileges necessary or convenient for the full enjoyment or use there- of including the right of ingress and egress to and from said lines; and also the right to cut and keep clear all trees and to keep clear other obstructions that may injure or endanger said lines.

No Wits:

Attn by Robt Jemison Jr. His Pres 25 May 1942 bl. C S Davis RP JGM

(Seal)

8-18-41

W. H. ...  
J. H. ...  
S. H. ...

That part of the NE $\frac{1}{4}$  of SW $\frac{1}{4}$  lying SW of Cahaba Road and SE  
of Chester Road, sit in Sec 9 T $19$  R 2 W  
power line to be constructed along the SE edge of South Chester  
Road.

444819

WE 0140 00 0040 000

LAM 2481-(REV. 6/75)  
PERMIT-POLE LINE, CORPORATION  
STATE OF ALABAMA,

REC: 1924 REG: 465

County of Jefferson  
KNOW ALL MEN BY THESE PRESENTS, That the undersigned Liberty National Life Insurance Company, Lessor

a corporation, for and in consideration of the sum of One and No/100 Dollars (\$ 1.00), to it in hand paid by Alabama Power Company, a corporation, the receipt whereof is acknowledged, does hereby grant to said Alabama Power Company, its successors and assigns, the right to construct, operate and maintain its line of poles and appurtenances necessary in connection therewith, as located by the final location survey heretofore made by said Company, for the transmission of electric power, with the right to set poles, guys and anchors in line and to string thereon from time to time class electric power and telephone wires and the right to permit other corporations to attach wires to said poles upon, over, under and across the following described land situated in Jefferson County, Alabama:

South Central Bell Telephone Co.

A parcel of land in the West 1/4 of NE 1/4 of SW 1/4 of Section 8, Township 18 South, Range 2 West more particularly described as follows: Commence at the Southwest corner of said forty and run East 204.4 feet; thence S40°22' left, 388 feet; thence S6°55' left, 150 feet for a point of beginning; thence continue on last said course 264 feet; thence 90°/50 feet; thence 90° right, 264 feet; thence 90° right, 50 feet to the point of beginning.

1. Final location survey is attached hereto and made a part hereof.
2. This instrument shall not be binding until Union Carbide Corporation has executed this instrument.

This instrument prepared in the Corporate Name of Alabama Power Co. Birmingham, Ala.


By H.C. Coggin

See Exhibit "A" attached hereto and made a part hereof.

Approved Liberty Nat. Life Ins. Co. Approved Union Carbide Corp.

Together with all the rights and privileges necessary or convenient for the full enjoyment or use thereof including the right of ingress and egress to and from said line; and also the right to cut and keep clear all trees, and to keep clear other obstructions, that may injure or endanger said line.

TO HAVE AND TO HOLD the same to the said Company, its successors and assigns, forever. IN WITNESS WHEREOF, the said Liberty National Life Insurance Company, Lessors caused this instrument to be executed in its name by Elmore N. Scott Assistant Financial Vice President and attested by Inez G. Beard its Secretary, and its corporate seal to be affixed, on this the 19th day of March, 1980.

Attest: [Signature] Assistant Secretary.

By [Signature] Liberty National Life Insurance Company, Lessor Financial Vice President

REAL 1924 PAGE 466

STATE OF ALABAMA,

County of Madison

I, Ernest C. Williams, a Notary Public, in and for said County in

said State, hereby certify that Edmond N. Smith, whose name as Pres-

ident of Alabama National Life Insurance Company, a corporation, is signed to the fore-  
going instrument, and who is known to me, acknowledged before me on this day that, being informed of the con-  
tents of the instrument, he, as such officer and with full authority, executed the same voluntarily for and as  
the act of said corporation.

Given under my hand and official seal, this the 17<sup>th</sup> day of March, 1924

Ernest C. Williams  
Notary Public

MY COMMISSION EXPIRES  
AUGUST 2, 1926



41879

TO

ALABAMA POWER COMPANY

THE STATE OF ALABAMA }  
County of \_\_\_\_\_

FROM

TRANSMISSION LINE PERMIT

THE STATE OF ALABAMA }  
County of \_\_\_\_\_

I hereby certify that the within instru-  
ment was filed in my office for record on  
the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_  
at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and duly re-  
corded in Book \_\_\_\_\_ Page \_\_\_\_\_  
and examined.

Judge of Probate of said County.

**Appendix E**  
Jefferson County Tax Assessor list of  
Property Owners within 500 feet

	A	B	C	D
1	Parcel Number	Owner Name	Property Mailing Address	Mailing Address City Mailing Address State mailing address Zip
2	28 00 08 2 006 004.000	PERRY CHARLES D JR & SHERYL M	2501 CANTERBURY RD	MOUNTAIN BRK, AL 35223-1909
3	28 00 08 2 006 005.000	ALABAMA POWER CO	PO BOX 2641	BIRMINGHAM, AL 35291-0001
4	28 00 08 2 007 001.701	DOMIT FAMILY PARTNERSHIP	104 OXMOOR ROAD STE 144	BIRMINGHAM, AL 35209-4711
5	28 00 08 2 007 001.702	CANTERBURY PROPERTY LLC	4313 OLD LEEDS RD	BIRMINGHAM, AL 35213-3213
6	28 00 08 2 007 002.000	GKOS LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
7	28 00 08 2 008 001.000	MORTON GAIL BRIDGES FAMILY	777 TAYLOR ST PENTHOUSE 1 STE A	FORT WORTH, TX 76102
8	28 00 08 2 008 002.000	A M O REALTY CO INC	123 20TH ST N	BIRMINGHAM, AL 35203-3603
9	28 00 08 2 008 003.000	A M O REALTY CO INC	123 20TH ST N	BIRMINGHAM, AL 35203-3603
10	28 00 08 2 008 004.000	A M O REALTY CO INC	123 20TH ST N	BIRMINGHAM, AL 35203-3603
11	28 00 08 2 008 006.000	A M O REALTY CO INC	123 20TH ST N	BIRMINGHAM, AL 35203-3603
12	28 00 08 3 001 001.000	MCTYEIRE ENTERPRISES INC	4028 OLD LEEDS CIR	MOUNTAIN BRK, AL 35213
13	28 00 08 3 001 001.001	MOUNTAIN BROOK CITY OF	56 CHURCH ST	MOUNTAIN BRK, AL 35213-3733
14	28 00 08 3 001 002.000	MCTYEIRE ENTERPRISES INC	4028 OLD LEEDS CIR	MOUNTAIN BRK, AL 35213
15	28 00 08 3 001 003.000	IRON ART INC	4028 OLD LEEDS CIR	BIRMINGHAM, AL 35213
16	28 00 08 3 001 004.000	CARR JERRY N & WILLIAM H	PO BOX 131346	BIRMINGHAM, AL 35213-6346
17	28 00 08 3 001 005.000	MCCONNELL WHITE TERRY REALTY	PO BOX 530507	BIRMINGHAM, AL 35253-0507
18	28 00 08 3 001 006.000	VILLAGE RENAISSANCE LLC	PO BOX 131346	BIRMINGHAM, AL 35213-6346
19	28 00 08 3 001 007.000	MOUNTAIN BROOK CITY OF	56 CHURCH ST	MOUNTAIN BRK, AL 35213-3733
20	28 00 08 3 001 008.000	RAIS-BAHRAMI SOROUSH & LAURA G	2504 HEATHERMOOR RD	MOUNTAIN BRK, AL 35223-1904
21	28 00 08 3 002 001.001	VILLAGE GARDENS LLC	2817 CAHABA RD	MOUNTAIN BRK, AL 35223-2322
22	28 00 08 3 002 002.000	WATERS THEATRE CO	PO BOX 530403	BIRMINGHAM, AL 35253
23	28 00 08 3 002 003.000	SOUTHTRUST CORPORATE REALTY	PO BOX 2609	CARLSBAD, CA 92018
24	28 00 08 3 002 004.000	SOUTHTRUST CORPORATE REALTY	PO BOX 2609	CARLSBAD, CA 92018
25	28 00 08 3 002 005.701	ZANATY ESTATES	104 OXMOOR ROAD STE 144	BIRMINGHAM, AL 35209-4711
26	28 00 08 3 002 005.702	CANTERBURY PROPERTY LLC	4313 OLD LEEDS RD	BIRMINGHAM, AL 35213-3213
27	28 00 08 3 003 010.000	REEVES NINA H	2320 BROOK MANOR DR	MOUNTAIN BRK, AL 35223-2302
28	28 00 08 3 003 013.000	ROBERT W HODGKINS IRREVOCABLE TRUST	3615 8TH AVE S	BIRMINGHAM, AL 35222
29	28 00 08 3 003 014.000	BROOK MANOR PARTNERS	728 SHADES CREEK PKWY SUITE 200	BIRMINGHAM, AL 35209
30	28 00 08 3 003 015.000	BALLIET PEGGY GAFFORD	2335 CHESTER RD	MOUNTAIN BRK, AL 35223-2311
31	28 00 08 3 003 016.000	TURNER IRA C MANAGEMENT TRUST (D)	2329 CHESTER ROAD	MOUNTAIN BROOK, AL 35223
32	28 00 08 3 003 017.000	COLEMAN ELIZABETH C	2321 CHESTER RD	MOUNTAIN BRK, AL 35223-2311
33	28 00 08 3 003 019.000	GRANT WILLIAM A III & JANE B	P O BOX 1468	JASPER, AL 35502
34	28 00 08 3 003 025.000	HANSON VICTOR H III & MARY R	2328 CHESTER RD	BIRMINGHAM, AL 35223
35	28 00 08 3 003 026.000	HANSON VICTOR H III & MARY R	2328 CHESTER RD	MOUNTAIN BRK, AL 35223-2312
36	28 00 08 3 003 027.000	MCCRARY MARY ELIZABETH WISE	2334 CHESTER RD	MOUNTAIN BROOK, AL 35223
37	28 00 08 3 003 028.000	A M O REALTY CO INC	123 20TH ST N	BIRMINGHAM, AL 35203-3603
38	28 00 08 3 003 029.000	IBERIABANK	200 W CONGRESS ST	LAFAYETTE, LA 70501-6873

A CERTIFIED TRUE COPY  
OF THE RECORDS OF THE  
TAX ASSESSOR, JEFFERSON  
COUNTY, ALABAMA

*Gaynell Hendricks*  
GAYNELL HENDRICKS  
TAX ASSESSOR

5-1-24

	A	B	C	D
39	28 00 08 3 008 001.302	RUSHTON TUNSTALL P & SANDRA U	2865 HABERSHAM RD NW	ATLANTA, GA 30305-2939
40	28 00 08 3 008 001.303	COOPER RONALD E & GAIL	2329 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
41	28 00 08 3 008 001.304	LACY DONALD L & PEGGY J	2327 BROOK MANOR DR	MOUNTAIN BRK, AL 35223
42	28 00 08 3 008 001.305	TUCKER VIRGINIA S	2325 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
43	28 00 08 3 008 001.306	DENT CATHERINE T	2323 BROOK MANOR DR	BIRMINGHAM, AL 35223
44	28 00 08 3 008 001.308	CLARK ANNIE G	2319 BROOK MANOR DR	BIRMINGHAM, AL 35223
45	28 00 08 3 008 001.310	TUCKER THOMAS F & VIRGINIA L	2315 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
46	28 00 08 3 008 001.312	IRBY RUSSELL L & PAULA F	2309 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
47	28 00 08 3 008 001.316	TYNES BAYARD S JR & TYNES ELIZABETH E	2308 BROOK MANOR	BIRMINGHAM, AL 35223
48	28 00 08 3 008 001.318	THE JAMIE MOSELY THACKER FAMILY TRUST	2314 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
49	28 00 08 3 008 001.322	KULBACK PAM & KULBACK STEVE	2324 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
50	28 00 08 3 008 001.323	EDDLEMAN DOUGLAS & KAREN Y	2326 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
51	28 00 08 3 008 001.327	FOSTER MCDONALD AS TRUSTEE OF THE ANN B KEY TRUST	PO BOX 177	ARAB, AL 35016
52	28 00 08 3 008 001.328	DARDEN BARCLAY	2305 BROOK MANOR DRIVE	MOUNTAIN BROOK, AL 35223
53	28 00 08 3 008 009.000	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
54	28 00 08 3 008 010.000	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
55	28 00 08 3 008 010.001	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
56	28 00 08 3 008 010.002	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
57	28 00 08 3 008 011.000	MOUNTAIN BROOK CITY OF	PO BOX 130009	BIRMINGHAM, AL 35213-0009
58	28 00 08 3 008 012.001	CANTERBURY LLC	2850 CAHABA RD STE 200	MOUNTAIN BRK, AL 35223-2361
59	28 00 08 3 008 012.002	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
60	28 00 08 3 008 013.701	SMITHERMAN FITTS J	PO BOX 130962	BIRMINGHAM, AL 35213-0962
61	28 00 08 3 008 013.702	NEW OWNERS VESTAVIA LLC	PO BOX 130962	BIRMINGHAM, AL 35213-0962
62	28 00 08 3 008 014.701	S & S ASSOC LLC	11325 RANDOM HILLS RD SUITE 360	FAIRFAX, VA 22030
63	28 00 08 3 008 014.702	NEW OWNERS VESTAVIA LLC	11325 RANDOM HILLS RD SUITE 360	FAIRFAX, VA 22030
64	28 00 08 3 008 015.701	S & S ASSOC LLC	154 CREEKSIDE LN	WINCHESTER, VA 22602-2447
65	28 00 08 3 008 015.702	NEW OWNERS VESTAVIA LLC	202 N LOUDOUN ST STE 309	WINCHESTER, VA 22601-4952
66	28 00 08 3 008 016.000	SPENCER R. STEVEN & LYNNE	2318 BROOK MANOR DRIVE	MOUNTAIN BROOK, AL 35223
67	28 00 08 3 008 017.000	THORNTON WILLIAM L III	2330 BROOK MANOR DR	MOUNTAIN BROOK, AL 35223
68	28 00 08 3 009 001.000	MOUNTAIN BROOK BD OF EDUCATION	32 VINE ST	MOUNTAIN BRK, AL 35213-3716
69	28 00 08 3 010 001.000	MTB OFFICE PARK LLC	6 OFFICE PARK CIRCLE STE 111	BIRMINGHAM, AL 35223
70	28 00 08 4 005 004.000	MOUNTAIN BROOK BD OF EDUCATION	32 VINE ST	MOUNTAIN BRK, AL 35213-3716
71	28 00 08 4 005 005.000	EVANS WALTER B JR & JANE H	2500 WATKINS RD	MOUNTAIN BROOK, AL 35223-2508

A CERTIFIED TRUE COPY  
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COUNTY, ALABAMA

  
GAYNELL HENDRICKS  
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5-1-24