



Planning Commission Application PART I

Project Data

Address of Subject Property 3736 Montrose Rd, Mountain Brook, AL 35213

Zoning Classification Residence A District

Name of Property Owner(s) St. Luke's Episcopal Church

Phone Number (205)802-6204 Email gpelekis@saint-lukes.com

Name of Representative Agent (if applicable)

Susan Barron

Phone Number (205) 516-9969 Email susan@bgrouparch.com

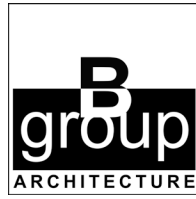
Name of Engineer or Surveyor Arrington Engineering

Phone Number (205) 985-9315 Email info@arringtonengineering.com

Property owner or representative agent must be present at hearing

Plans

See applicable Section of the Zoning Ordinance for submittal requirements pertaining to your particular application. Applicable Code Section may be found in Part II, list of application types. Contact City Planner with any specific questions as to required plans submittal.



May 13, 2024

Dana Hazen
City of Mountain Brook
56 Church St
Mountain Brook, AL 35213

Re: St. Luke's Episcopal Church – Playground Renovation - Planning Commission Application
BGA No. 2321

Dear Dana:

Thank you for your time and consideration of this project. As discussed in our email correspondence, St. Luke's Church would like to renovate their existing playground to address wear and tear and to eliminate drainage of dirt and debris from the hillside above the playground. We understand that due to the church's conditional use classification, the project will need to be reviewed and approved by the Mountain Brook Planning Commission prior to issuance of a building permit. A list of documents submitted at this time are outlined below.

Documents Submitted

1. Planning Commission Application
2. Certified mailing list of all property owners within 500 feet of the church
3. Construction Documents for Playground Renovation Project
4. Site Survey & As-built drawings for the 2017 site improvements which included significant drainage improvements and the outdoor pavilion.
5. Description of Scope - (see below)
6. A response to conditional use requirements as stated in the zoning ordinance, section 129-32 (a)-(n) - (see below)
7. Construction Access & Staging Plan
8. Church Usage Guidelines 2024

Description of Project Scope

The scope includes the following:

Bgroup ARCHITECTURE, Inc.

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1. Removal and replacement of existing play equipment and rubber surfacing within the same footprint as the existing playground.
2. Removal and replacement of all under surface drainage.
3. Excavation of hillside contained within the playground and installation of new concrete retaining wall in order to reroute water flow from onto the playground to new inlets at the higher grade. Water will be routed around the wall and into the existing drainage ditch and then on to existing storm water piping.
4. Stepped concrete seat tiers with poured rubber tread surface on playground side of the new retaining wall to be used for outdoor play and Sunday School activities.
5. Removal and replacement of existing storage shed. This shed will be located in approximately the same location as the existing shed. It is well within the property set-back and
6. New aluminum fencing to match existing on top of retaining wall and playground perimeter where opened up to accommodate construction activities.
7. New site stair from sidewalk to higher elevation behind playground.
8. New landscaping above and along the new retaining to replace landscaping disturbed by construction.

Response to zoning ordinance requirements as listed in section 129-32 (a)-(n)

- a) A survey of the property;

A survey showing the playground has been included in the submittal. The survey predates the addition of the outdoor pavilion and lower parking lot. A copy of the as-built drawings for these improvements has also been included.

- b) A topographical survey of the property;

Topography is shown on the survey provided.

- c) A site plan for the property, showing the location, size, height and elevation of all existing and proposed improvements, the location, number and size of parking spaces and such other information about the existing and proposed improvements and the development plan for the property which the planning commission considers reasonably necessary for its consideration of the request for approval;

See sheet L-1 for site plan of area to be renovated. Also refer to L-5, A1.4 and A1.5 for heights of proposed walls and storage structure.

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- d) Plans for all proposed improvements;

See sheet L-1, L-2, L-3, and A1.4.

- e) A map or drawing showing the proximity of the property, and any improvements on the property or to be located on the property, to buildings and other improvements located on property adjacent to or near the property;

See layout plan on L-1 and Construction Staging and Access Plan.

- f) The type of construction materials to be used in the proposed improvements;

Playground materials to match existing: replacement of poured rubber playground surface, aluminum fence additions and repairs, poured in place concrete walls with brushed finish to match existing. New storage shed structure to be wood framed with painted engineered wood board and batten siding to match the nearby pavilion built in 2017.

- g) A traffic study with respect to the traffic expected to be generated by the use;

Not applicable, no changes to traffic flow required. There will also be no change in the volume of traffic to the site due to the playground improvements.

- h) Information concerning outdoor lighting (including freestanding lighting fixtures and lighting fixtures to be attached to the improvements);

Only one small, wall mounted light will be added. It will be mounted beside the side door entrance to the storage shed and will face the church.

- i) Information concerning fuel storage tanks (the type, size, location, proposed contents and other relevant facts concerning the fuel storage tanks shall be subject to the approval of the city's fire marshal);

None included in scope.

- j) The hours of operation of the activities proposed to be conducted on the property;

The church intends to use the existing dawn to dusk policy that is in place now for the playground and pavilion. This is the same agreement that was made with the planning commission during the review of the outdoor pavilion. A copy of this policy has been provided.

There will be no changes to the use of the playground. This is simply a refresh project. The playground will continue to serve the same groups as it does today, including the day school during the week and Sunday school on Sundays. There will

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be no increase in occupancy or the noise generated by occupants as activities will continue as they are now.

- k) Information concerning the visibility of the proposed improvements from adjacent property, buildings and public streets;

The playground is existing and its visibility to adjacent property and public streets will remain unchanged. The playground is not visible from Montrose Road as it is set far from the street, located downhill at a lower grade and screened by trees. The playground is visible through the pavilion from the very end of South Cove Drive and from the house located at 3821 South Cove Drive. This house is owned by the church.

- l) Information concerning the proposed screening of the proposed improvements by fences, walls, berms, shrubs, trees or other means;

New trees and bushes will be planted at the top of the new retaining wall to replace those disturbed. See L-2. The tree line along the property line nor any other landscaping between the playground and property line (other than that described above and shown on L-2 will be disturbed.

- m) Whether any trees or other vegetation which would serve to screen the proposed improvements and the use thereof from adjacent property will be removed from the property; and

No trees or vegetation will be removed which could serve to screen the existing playground other than that which is disturbed by the new retaining wall. New plant material will be provided in all disturbed areas per L-2.

- n) Information concerning vehicles, equipment and materials which may be stored on the property or within the improvements.

See the Construction Staging and Access Plan provided. The lower parking lot will be used for contractor staging and parking. No parking will be permitted on South Cove Drive. Equipment for sitework will include skid-steers, excavators, dump-trucks, etc. Access to the site for such equipment will be from the driveway of the church owned house located at 3821 South Cove Drive. All construction traffic will come from Montrose through the church property and not via the neighborhood on South Cove Drive.

Please let us know if you need any additional information. Thank you again for your time and consideration

Sincerely yours,

Dana Hazen
May 13, 2024
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B group ARCHITECTURE, Inc.

By 

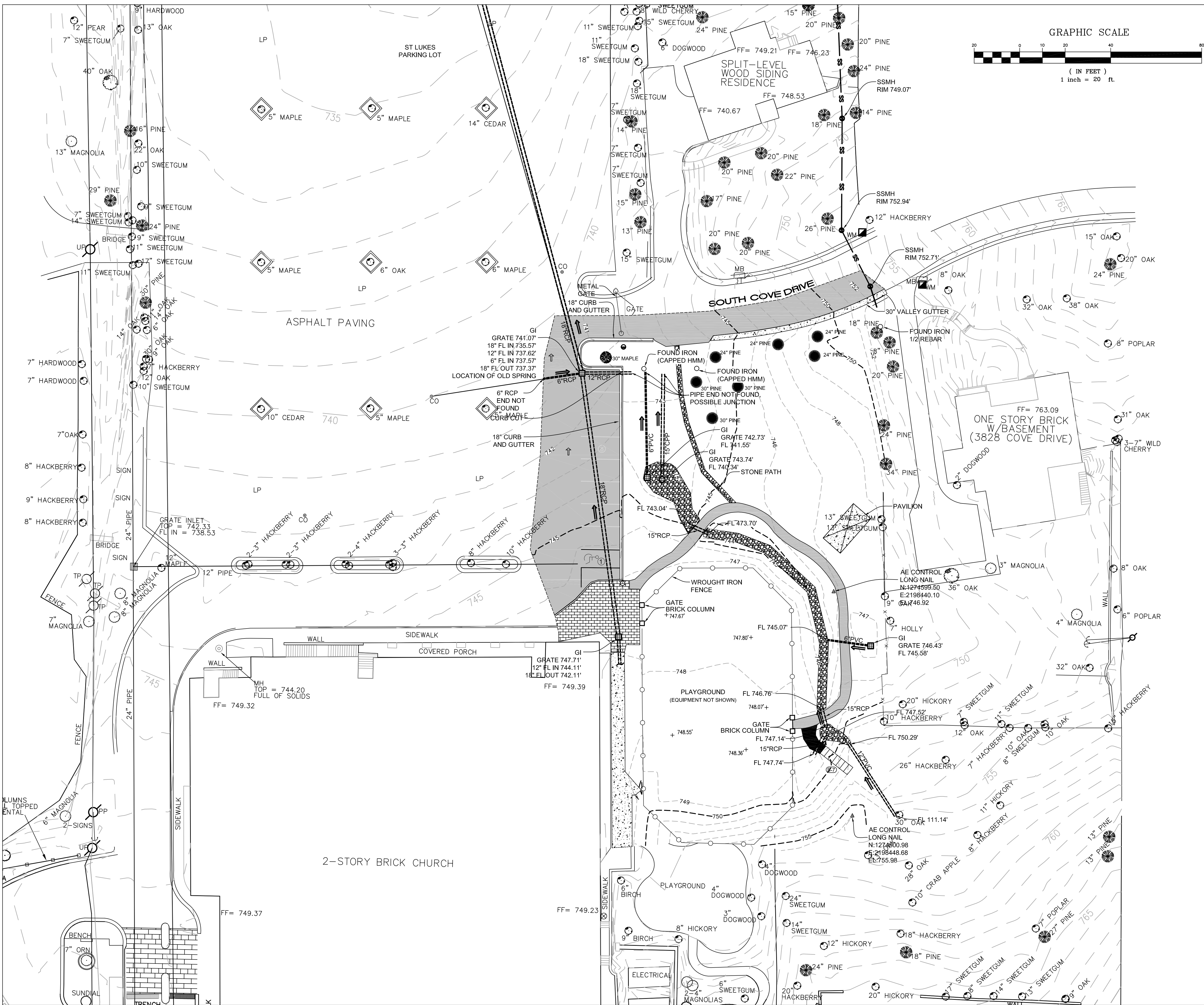
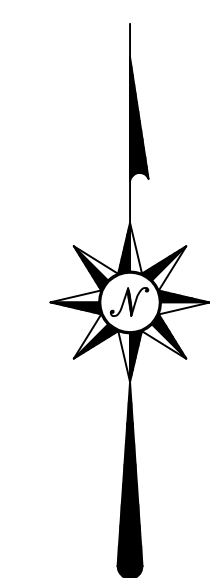
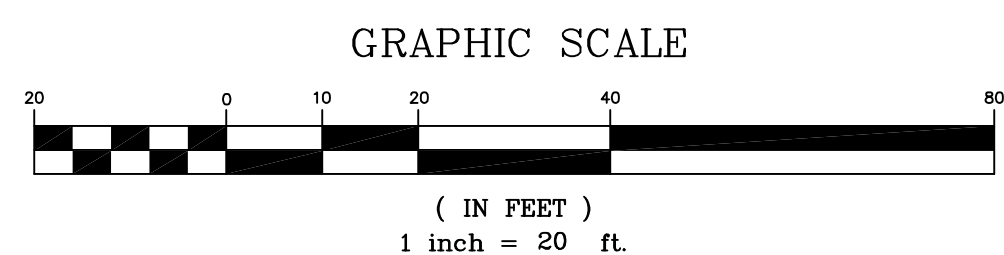
Susan Barron, Principal

cc: BGA File No. / 2321
Joel Eliason
George Pelekis

TOPOGRAPHIC EXHIBIT SAINT LUKES EPISCOPAL CHURCH

SITUATED IN THE NORTHEAST QUARTER OF SECTION 4,
TOWNSHIP 18 SOUTH RANGE 2 WEST,
JEFFERSON COUNTY ALABAMA.

PREPARED FOR:
LBYD, INC.
716 SOUTH 30TH STREET
BIRMINGHAM, AL 35233
(205) 251-4500



LEGEND

	CONTROL POINT	FL	FLOWLINE
	EXISTING SPOT ELEVATION	GI	GRATE INLET
	LIGHT POLE	RCP	REINFORCED CONCRETE PIPE
	GRATE INLET	PVC	POLYVINYL CHLORIDE PIPE
	SANITARY MANHOLE	X	CHAIN LINK FENCE
	BOLLARD	—	METAL GATE
	HARDWOOD TREE		ASPHALT
	SOFTWOOD TREE		BRICK
	STEP COUNT		CONCRETE

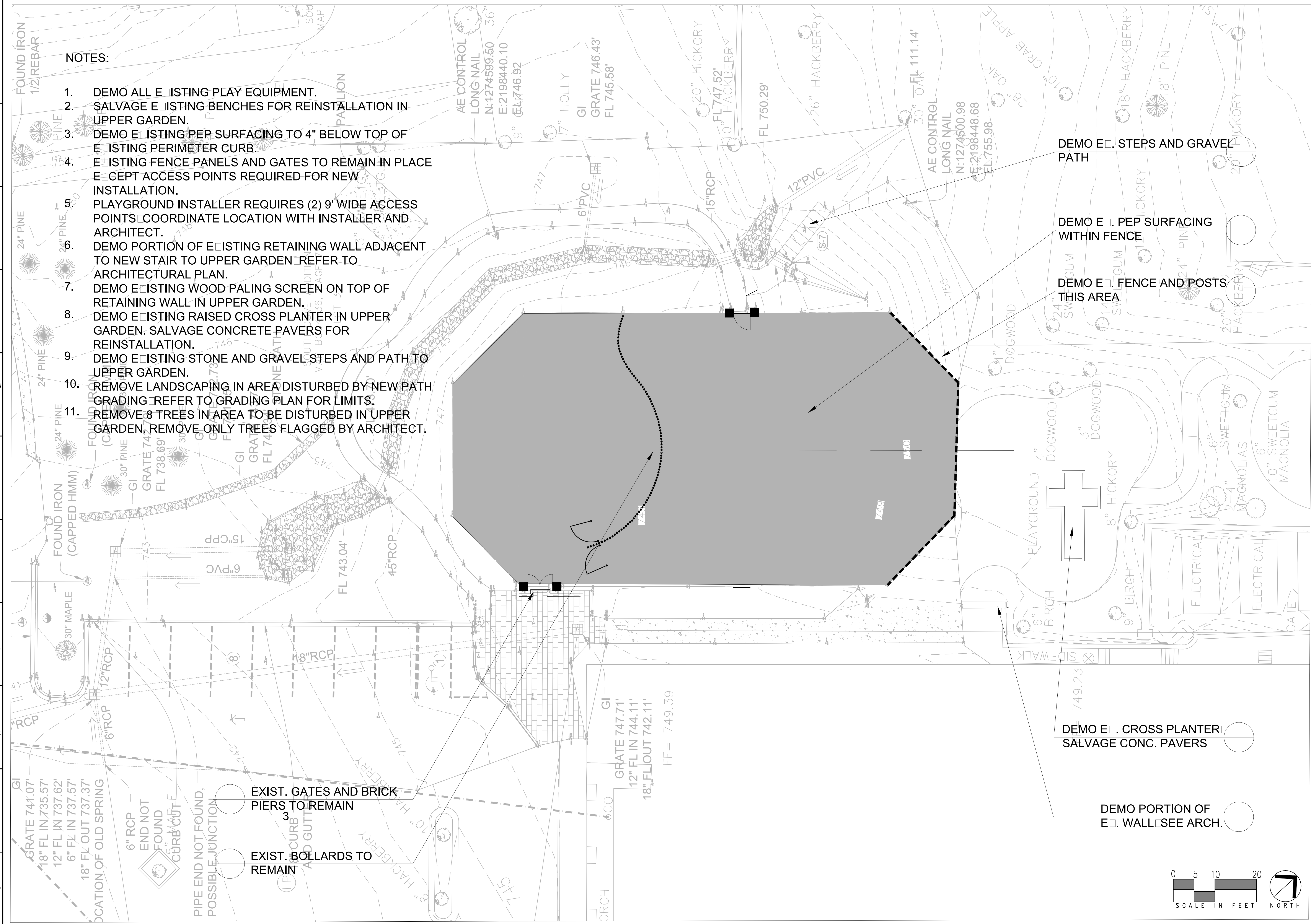


Know what's below.
Call before you dig.
Call 2 working days before digging.
It's the Law!

ARRINGTON ENGINEERING
Civil Engineers - Surveyors - Land Planners

Office: (205) 985-9315
Fax: (205) 985-9385
2032 Valleydale Road
Birmingham AL 35244

DRAWING TITLE TOPOGRAPHIC SURVEY SAINT LUKES EPISCOPAL CHURCH		DRAWN BY SAE
LOCATION & DESCRIPTION SITUATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 18 SOUTH RANGE 2 WEST, JEFFERSON COUNTY ALABAMA.		CHECKED BY: JDA
		DATE: 7/29/2016
		SCALE: 1" = 20'
		PARTY CHIEF: YA
		PROJECT NO.: 61408
		SHEET: 1 OF 1



NOTES:

1. DEMO ALL EXISTING PLAY EQUIPMENT.
2. SALVAGE EXISTING BENCHES FOR REINSTALLATION IN UPPER GARDEN.
3. DEMO EXISTING PEP SURFACING TO 4" BELOW TOP OF EXISTING PERIMETER CURB.
4. EXISTING FENCE PANELS AND GATES TO REMAIN IN PLACE EXCEPT ACCESS POINTS REQUIRED FOR NEW INSTALLATION.
5. PLAYGROUND INSTALLER REQUIRES (2) 9' WIDE ACCESS POINTS COORDINATE LOCATION WITH INSTALLER AND ARCHITECT.
6. DEMO PORTION OF EXISTING RETAINING WALL ADJACENT TO NEW STAIR TO UPPER GARDEN REFER TO ARCHITECTURAL PLAN.
7. DEMO EXISTING WOOD PALING SCREEN ON TOP OF RETAINING WALL IN UPPER GARDEN.
8. DEMO EXISTING RAISED CROSS PLANTER IN UPPER GARDEN. SALVAGE CONCRETE PAVERS FOR REINSTALLATION.
9. DEMO EXISTING STONE AND GRAVEL STEPS AND PATH TO UPPER GARDEN.
10. REMOVE LANDSCAPING IN AREA DISTURBED BY NEW PATH GRADING REFER TO GRADING PLAN FOR LIMITS.
11. REMOVE 8 TREES IN AREA TO BE DISTURBED IN UPPER GARDEN. REMOVE ONLY TREES FLAGGED BY ARCHITECT.

DEMO EX. STEPS AND GRAVEL PATH

DEMO EX. PEP SURFACING WITHIN FENCE

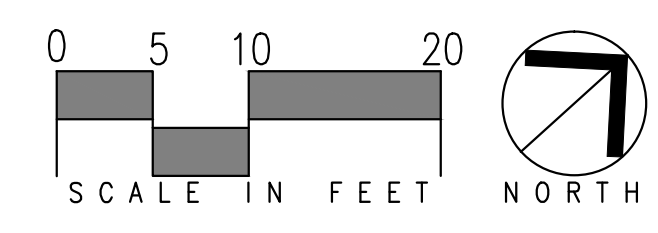
DEMO EX. FENCE AND POSTS THIS AREA

DEMO EX. CROSS PLANTER SALVAGE CONC. PAVERS

DEMO PORTION OF EX. WALL SEE ARCH.

EXIST. GATES AND BRICK PIERS TO REMAIN

EXIST. BOLLARDS TO REMAIN



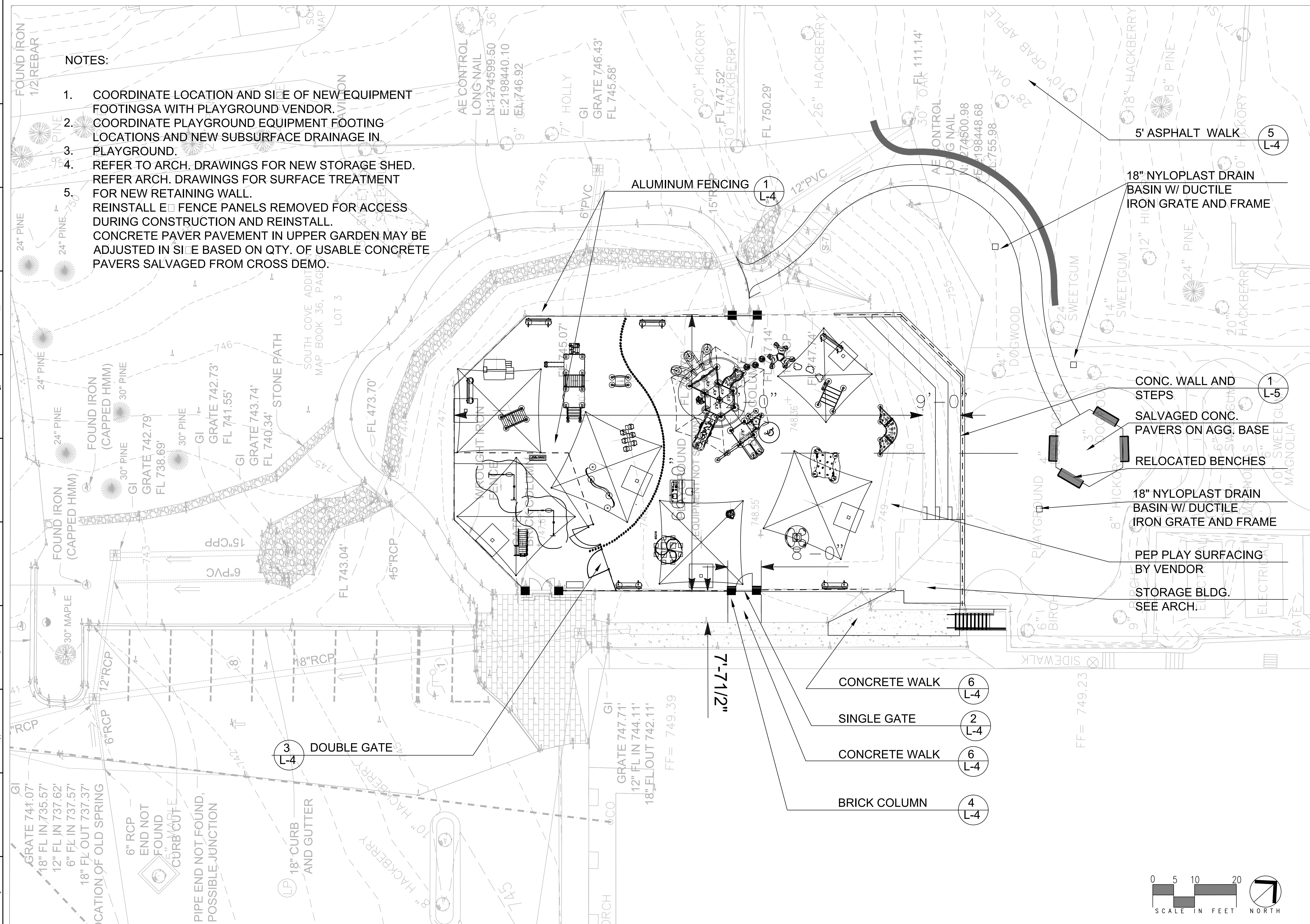
**St. Luke's Episcopal Church
Renovation**
3736 Montrose Rd.
Mountain Brook, AL 35213

Design	Designer	Project No.
Drawn	Author	2317
Checked	Checker	

Revisions	No.	Description	Date
	2	AS182 PLAYGROUND	5/1/24

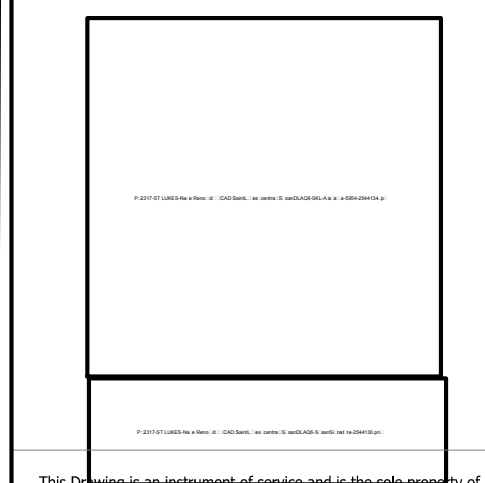
Sheet Title
**PLAYGROUND
DEMOLITION PLAN**

Issue Date	Sheet No.
4/19/24	L-0



NOTES:

1. COORDINATE LOCATION AND SIZE OF NEW EQUIPMENT FOOTINGS WITH PLAYGROUND VENDOR.
2. COORDINATE PLAYGROUND EQUIPMENT FOOTING LOCATIONS AND NEW SUBSURFACE DRAINAGE IN PLAYGROUND.
3. REFER TO ARCH. DRAWINGS FOR NEW STORAGE SHED. REFER ARCH. DRAWINGS FOR SURFACE TREATMENT FOR NEW RETAINING WALL.
4. REINSTALL FENCE PANELS REMOVED FOR ACCESS DURING CONSTRUCTION AND REINSTALL CONCRETE PAVER PAVEMENT IN UPPER GARDEN MAY BE ADJUSTED IN SIZE BASED ON QTY. OF USABLE CONCRETE PAVERS SALVAGED FROM CROSS DEMO.



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St. Luke's Episcopal Church Renovation

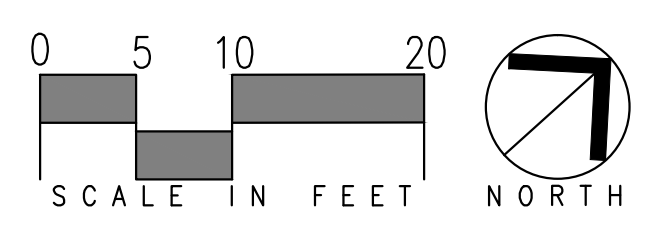
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Mountain Brook, AL 35213

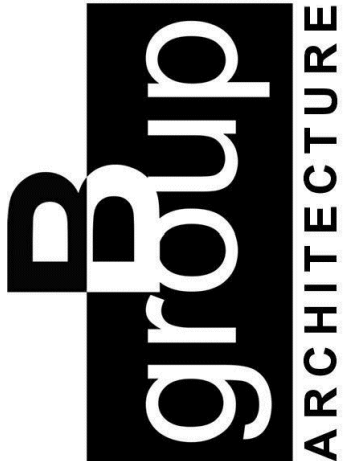
Desig. by	Designer	Project No.
Drawn by	Author	2317
Checked by	Checker	

No.	Description	Date
2	AS102 PLAYGROUND	5/1/24

Sheet Title
**PLAYGROUND
LAYOUT PLAN**

Issue Date	Sheet No.
4/19/24	L-1





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St. Luke's Episcopal Church Renovation

3736 Montrose Rd.
Mountain Brook, AL 35213

Date: med	Designer	Project No.
Des: n	Author	2317
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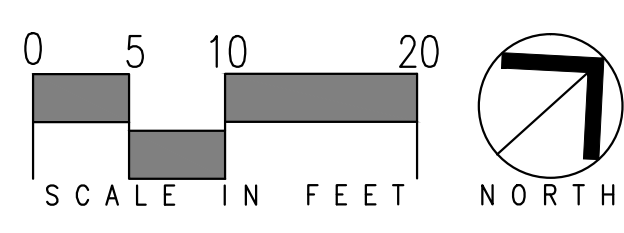
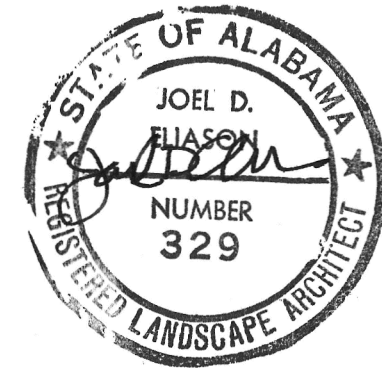
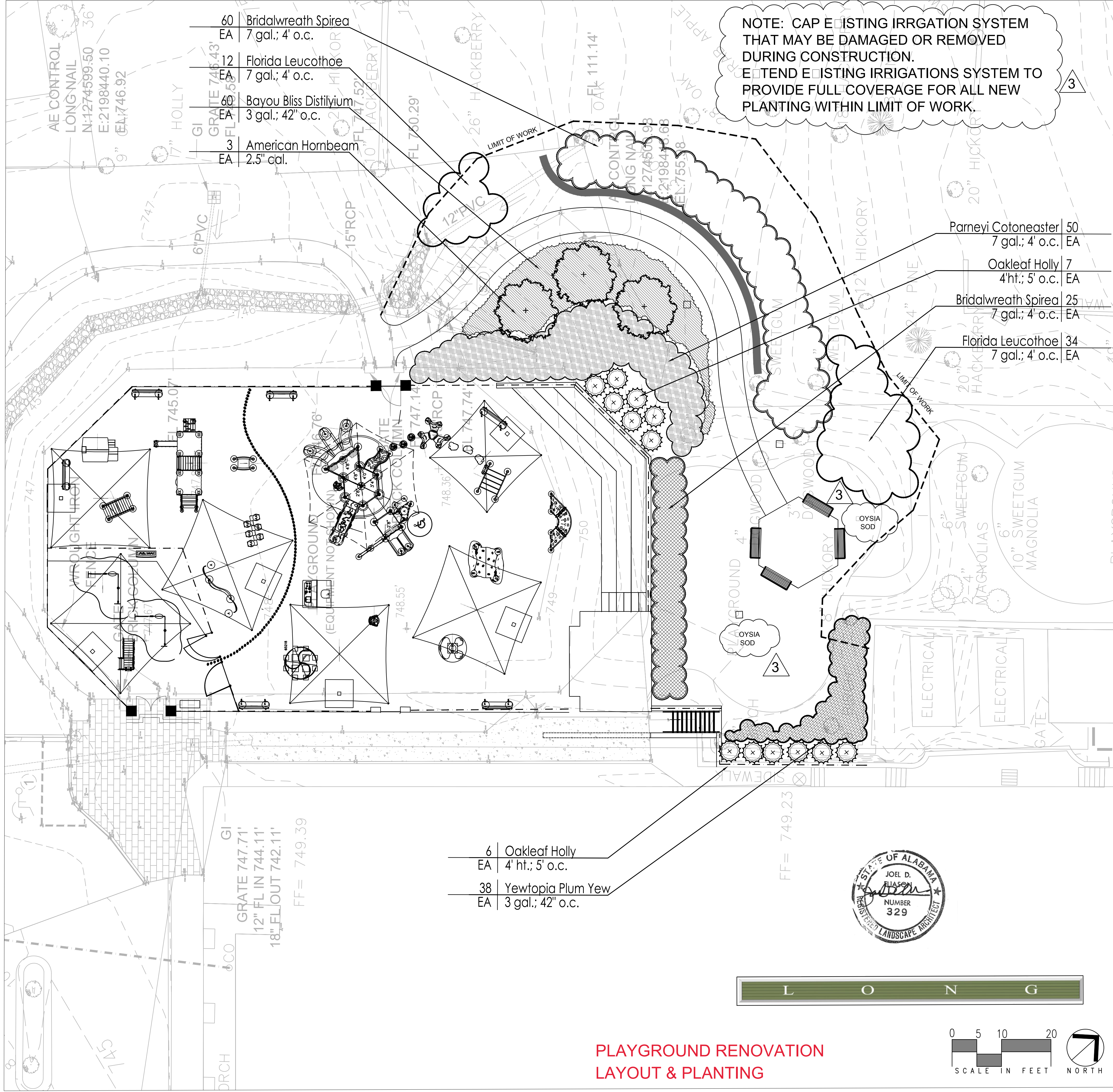
Revisions		
No.	Description	Date
2	ASI-02 PLAYGROUND	5/1/24
3	ASI-03 PLAYGROUND	5/21/24

Sheet Title
**UPPER GARDEN
PLANTING PLAN**

Issue Date	Sheet No.
4/19/24	L-2

PLANTING NOTES

- ADHERE TO PLANS FOR ALL PHASES OF WORK.
- PROVIDE LABOR, EQUIPMENT, MATERIALS AND SERVICES NECESSARY TO COMPLETE LANDSCAPE WORK.
- VERIFY ALL UTILITY LOCATIONS IN THE FIELD BEFORE BEGINNING WORK. REPAIR DAMAGED UTILITIES TO OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- VERIFY QUANTITIES ON PLAN BEFORE PRICING WORK. PROVIDE UNIT PRICES FOR ALL PLANT MATERIAL WITH PRICING.
- ALL MATERIALS ARE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER AT ANY TIME.
- PROVIDE, PLACE AND SPREAD TOPSOIL WHICH IS FREE OF WEEDS, SEEDS, GRASSES, DEBRIS, AND OTHER SUBSTANCES HARMFUL TO PLANT GROWTH; LESS THAN 30% SILT; TO DEPTHS SHOWN OR MINIMUM 4" DEPTH; APPROVED BY LANDSCAPE ARCHITECT.
- PREPARE ALL TOPSOIL MIX USED IN TREE AND SHRUB PITS AND IN GROUNDCOVER BEDS IN THE FOLLOWING PROPORTIONS:
 - 4 PARTS TOPSOIL AS SPECIFIED
 - 2 PARTS DECOMPOSED ORGANIC MATTER
 - 2 PARTS SAND
 PREMIX SOIL BEFORE PLACING IN BED OR PIT. PLACE AND SPREAD MINIMUM 6" DEPTH OF TOPSOIL MIX IN ALL SHRUB BEDS.
- FINE GRADE TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM BUILDING AND TO PREVENT PONDING.
- STAKE PLANT LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE INSTALLATION. ADJUST STAKED LOCATIONS AS DIRECTED.
- PROVIDE AND INSTALL TREES, SHRUBS, GROUNDCOVER, SEED AND SOD AS SHOWN. ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK,' ANSI Z60.1-1996. MATERIAL SHALL CONFORM TO STATE AND FEDERAL REQUIREMENTS FOR INSECT AND DISEASE CONTROL. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TREE PIT DRAINAGE. INADEQUATE DRAINAGE IS DEFINED BY THE FOLLOWING: FLOOD EMPTY TREE PIT TO LEVEL OF SURROUNDING SOIL; IF WATER FAILS TO PERCOLATE OUT WITHIN 24-HOUR PERIOD, DRAINAGE IS INADEQUATE.
- MULCH PLANT PITS AND PLANTING BEDS WITH SHREDDED PINEBARK MULCH TO THE DEPTH INDICATED ON THE DRAWINGS AND DETAILS, OR A MINIMUM 3" DEPTH.
- REMOVE FROM SITE ANY PLANT MATERIAL WHICH TURNS BROWN OR DEFOLIATES WITHIN FIVE (5) DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIAL.
- MAINTAIN ALL PLANT MATERIAL AND LAWN AREAS UNTIL SUBSTANTIAL COMPLETION, UNLESS OTHERWISE SPECIFIED. (MAINTENANCE INCLUDES WATERING, SPRAYING, WEEDING, MULCHING, STRAIGHTENING, MOWING, FERTILIZING, ETC. AS SPECIFIED).
- GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR.
- INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.



PLAYGROUND RENOVATION LAYOUT & PLANTING



GRADING NOTES:

1. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
2. ALL TOPSOIL SHALL BE STRIPPED WITHIN THE PROPOSED LIMITS OF GRADING AND SHALL BE STOCKPILED ON-SITE IN AN APPROVED LOCATION FOR LATER USE WITH ANY EXCESS TO BE DISPOSED OF OFF-SITE ONCE ALL LANDSCAPED AREAS HAVE BEEN BROUGHT TO FINISH GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
3. SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
4. ALL EXPOSED SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RECOMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPPED DUE TO INCLEMENT WEATHER AND CONSTRUCTION TRAFFIC.
6. FILL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES: VIRTUALLY FREE OF ORGANICS, NO ROCK FRAGMENTS GREATER THAN 4" WITHIN 4" OF FINISH GRADE, LIQUID LIMIT NOT EXCEEDING 50, PLASTICITY INDEX NOT EXCEEDING 30, MINIMUM STANDARD PROCTOR (ASTM D-99) OF 100 PCF, COMPACTED 98% IN PAVED AND STRUCTURAL AREAS, 96% NON-STRUCTURAL AND LANDSCAPED AREAS, PLACED IN 8" LOOSE LIFTS, AND WITHIN ±2.0% OF OPTIMUM MOISTURE CONTENT. STRUCTURAL AREAS INCLUDE ZONES OF INFLUENCE AROUND THE BUILDING, PAVEMENT AREAS, FILL SLOPES, ETC.
7. COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 2,500 SQUARE FEET OF AREA PER 8" LIFT.
8. COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-PASSES OF A VIBRATORY COMPACTOR.
9. CLEARING LIMITS SHALL BE 5' OUTSIDE OF ALL PROPOSED GRADED AREAS OR NOT BEYOND THE PROPERTY LINES WHICHEVER IS LESS.
10. NO GRADING OFF-SITE OR IN ANY ROAD RIGHT-OF-WAY WITHOUT PROPER APPROVALS AND PRIOR NOTIFICATION.
11. COORDINATE THE SEQUENCING OF ALL GRADING OPERATIONS WITH THE EROSION CONTROL PLAN.
12. THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. SLOPE IN THE DIRECTION OF TRAVEL IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE.
13. ALL GRADING ADJACENT TO EXISTING OR PROPOSED BUILDINGS SHALL BE SLOPED AWAY FROM THE STRUCTURES AT A MINIMUM OF 1.0% GRADE. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES NOTIFY LVBY OF ANY DISCREPANCIES.
14. PROPOSED GRADES INDICATED ON THIS PLAN ARE TO FINISH GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL PAVING, BUILDING PAD, ETC.
15. FILL SLOPES SHOULD BE BENCHMARKED INTO THE EXISTING SLOPES AND SHOULD BE COORDINATED WITH THE ON-SITE GEOTECHNICAL ENGINEER FOR BENCH DETAILS (HEIGHT AND DEPTH OF BENCH INTO THE SLOPE.)
16. A GEOTECHNICAL REPORT HAS BEEN PREPARED BY BHATE GEOSCIENCES CORPORATION, INC. PROJECT NUMBER 116288 AND IS AVAILABLE FOR INFORMATION PURPOSES. THE CONTRACTOR SHALL REVIEW THIS REPORT, VISIT THE SITE AND COMPLETE ANY ADDITIONAL EXPLORATIONS THAT IT FEELS NECESSARY IN ORDER TO PROVIDE A SATISFACTORY BID.
17. DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED. IF GROUNDWATER DEWATERING IS REQUIRED, CONTRACTOR IS TO OBTAIN ANY PERMITS AS MAY BE REQUIRED PRIOR TO DISCHARGE OF EFFLUENT FROM DEWATERING.
18. GRADING ADJACENT TO THE BUILDING SHALL BE COORDINATED WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR FOUNDATION WALLS, STEM WALLS, DRAINS, AND OTHER CONDITIONS. THE CONTRACTOR SHALL NOTIFY LVBY INC. OF ANY DISCREPANCIES.

STORM DRAINAGE NOTES:

1. ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST. CONTRACTOR MUST HAVE EXISTING UTILITIES LOCATED BY UNDERGROUND LINE LOCATORS AS WELL AS FIELD VERIFIED BY ON-SITE PERSONNEL PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LVBY IMMEDIATELY.
2. ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED TO REMAIN.
3. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO ANY DEMOLITION REGARDING ITEMS TO BE SALVAGED, RECYCLED, AND REUSED. CONTRACTOR SHALL REMOVE ITEMS TO BE SALVAGED WITH EXTREME CAUTION TO PREVENT DAMAGE. CONTRACTOR SHALL TURN ALL SALVAGED ITEMS OVER TO OWNER.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO LVBY PRIOR TO INSTALLATION AND/OR FABRICATION.
6. ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT THE LOWPOINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY LVBY OF ANY DISCREPANCIES.
7. STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SIZES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LVBY OF ANY DISCREPANCIES.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE GRADES AND POINTS OF CONNECTION PRIOR TO INSTALLATION. LVBY SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
9. PROPOSED STORM PIPES 30" AND LESS SHALL BE BEDDED IN 4" OF CRUSHED AGGREGATE AND STORM PIPES 36" AND GREATER SHALL BE BEDDED IN 6" OF CRUSHED AGGREGATE.
10. ALL STORM PIPES 15" AND LESS SHALL BE SMOOTH LINED HIGH DENSITY POLYETHYLENE (HDPE) OR SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED.
11. ALL STORM MANHOLES SHALL BE FOLEY CONCRETE OR APPROVED EQUAL PRECAST CONE, RISER, AND BASE SECTIONS WITH GASKETED JOINTS MEETING ALDOT SPECIAL DRAWING # MH-621-2.
12. ALL YARD INLETS SHALL BE CONCRETE OR APPROVED EQUAL PRECAST INLET BOXES 3'-1" x 3'-1" OR 4'-2" x 4'-2" DEPENDING ON MAXIMUM PIPE DEFLECTIONS. YARD INLET TOP TO BE PRECAST WITH A RING AND COVER ACCESS PROVIDED THROUGH THE TOP.
13. CONTRACTOR SHALL PROVIDE CAST IRON DOWNSPOUT BOOTS, CLEANOUTS AND COLLECTOR LINES FROM ALL EXTERIOR DOWNSPOUTS TO CONNECT TO PRIMARY STORM DRAINAGE SYSTEM. COORDINATE WITH EXTERIOR ELEVATIONS, ROOF AND PLUMBING PLANS FOR DOWNSPOUT LOCATIONS. COORDINATE DOWNSPOUT MODEL NUMBER WITH THE ARCHITECT.
14. CONTRACTOR SHALL COORDINATE ROOF DRAIN COLLECTOR LINES, DOWNSPOUTS AND BOOTS WITH FOOTING ELEVATIONS ON THE STRUCTURAL PLANS PRIOR TO POURING FOOTINGS. TOP OF FOOTINGS SHALL BE A MINIMUM OF 3" BELOW GRADE AT ALL ROOF DRAIN DOWNSPOUT LOCATIONS TO ENSURE ADEQUATE COVER TO TRANSITION TO BELOW GRADE PIPING.
15. UPON COMPLETION OF PROJECT GRADING AND STORM INSTALLATION AND PRIOR TO INSTALLATION OF HARDSCAPE, PAVING, ETC. CONTRACTOR SHALL SUBMIT VIDEO DOCUMENTATION OF ALL STORM INLETS AND STORM PIPING 12" OR GREATER IN DIAMETER.

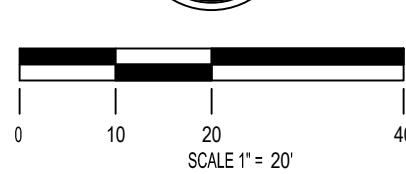
RENOVATION AREA

SPECIAL NOTE:

1. CONTRACTOR TO MODIFY ROOF DRAIN SYSTEM AS REQUIRED TO BE LOCATED ABOVE EXISTING AND PROPOSED SANITARY SEWER LATERALS. NOTIFY LVBY OF ANY DISCREPANCIES.

SITE GRADING AND DRAINAGE PLAN LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION (TOP OF CURB) 742.00 (BOTTOM OF CURB) 741.50
	GRATE INLET



SITE & DRAINAGE IMPROVEMENTS - INSTALLED DURING PRIOR PAVILION BUILD

St. Luke's Episcopal Church Renovation & Addition

OWNER
PROJECT ADDRESS
3736 Montrose Rd
Mountain Brook, AL 35213

PROJECT STATUS

ISSUED -

01/31/2017

REVISIONS

No.	Description	Date
▲	ADDENDUM #2	02/28/17
▲	CITY COMMENTS	06/07/17
▲	REVISED DRAINAGE	06/07/17
	SWALE	
	Construction Set	6.8.17

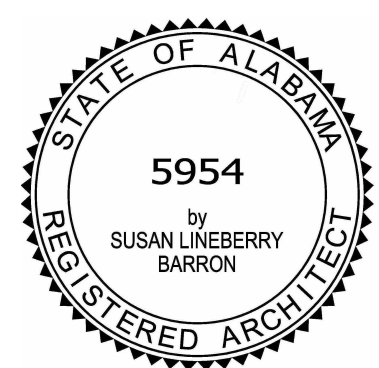
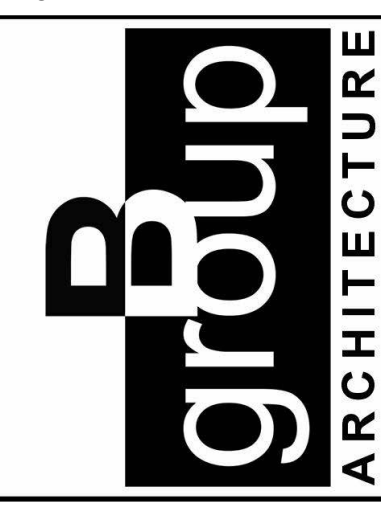
DRAWING TITLE
SITE GRADING AND DRAINAGE PLAN

DRAWN BY: TSM
CHECKED BY: GDM

PROJECT
St. Luke's Episcopal Church Renovation & Addition

PROJECT NUMBER
166009-00

DRAWING NO.
C3.0



Susan Barber

This Drawing is an instrument of service and is the sole property of the Architect. Any use without the written consent of the Architect is prohibited.
The Architect shall not have control or charge of and shall not be responsible for construction means and methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work in accordance with the contract documents.

St. Luke's Episcopal Church Renovation

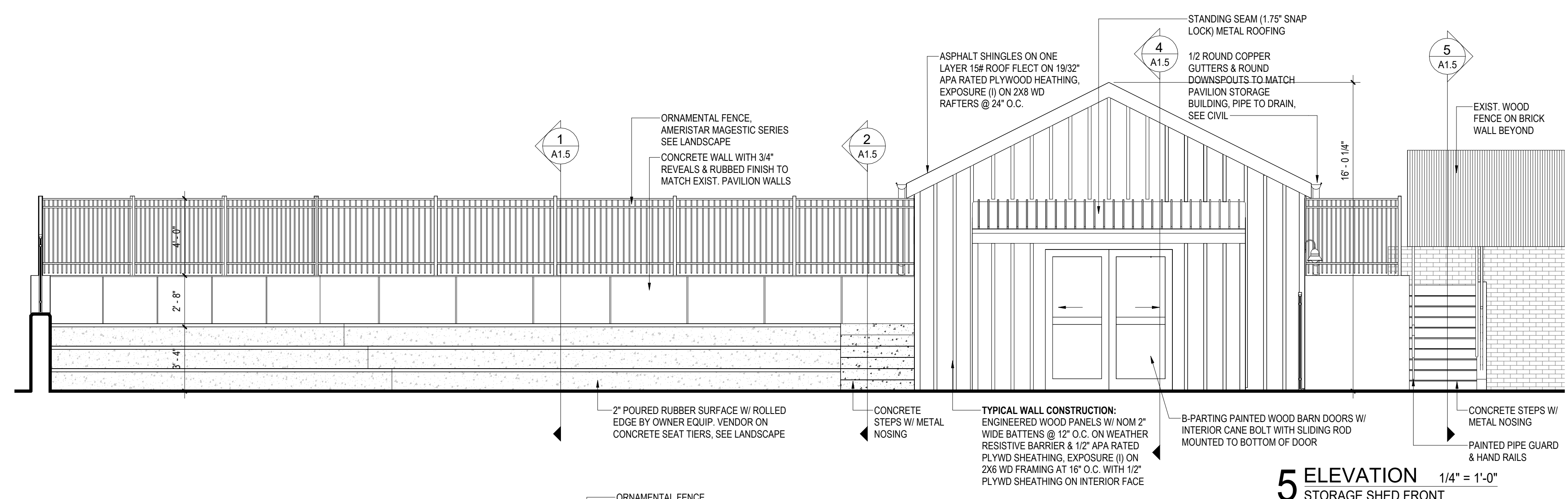
3736 Montrose Rd.
Mountain Brook, AL 35213

Designed	Designer	Project No.
Drawn	Author	2317
Checked	Checker	

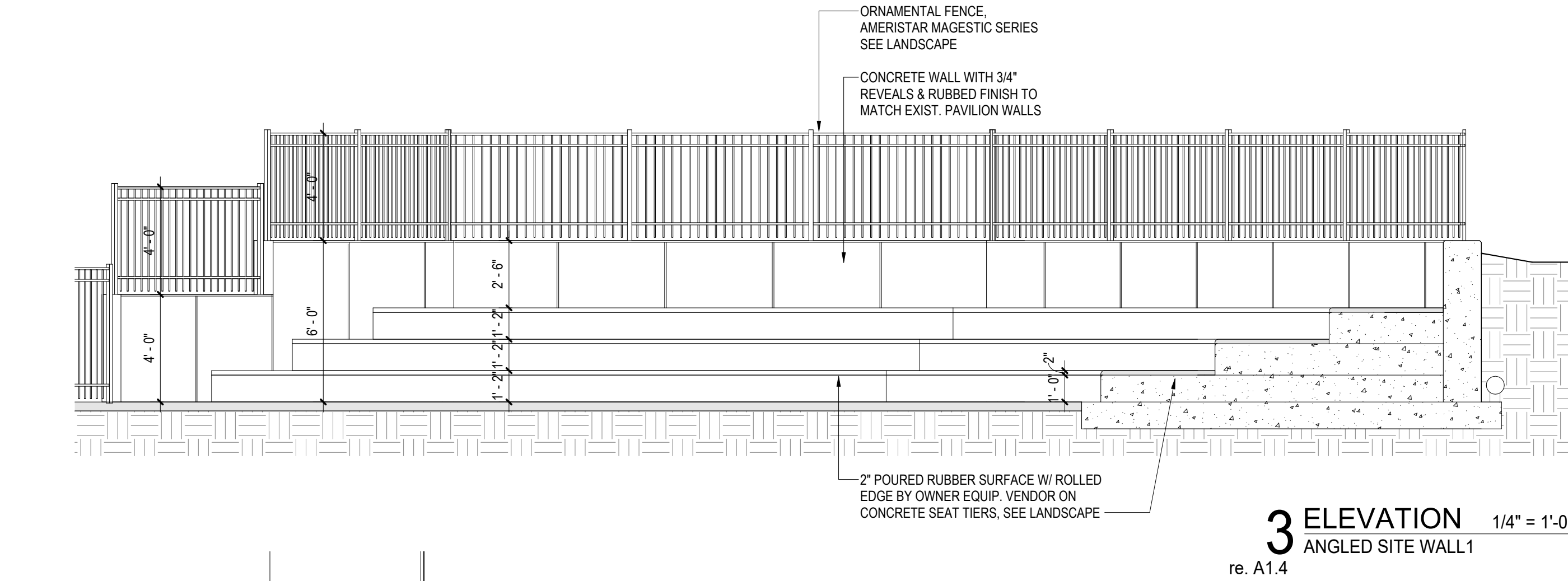
Revisions		
No.	Description	Date
2	AS-102 - PLAYGROUND	5/1/24

Sheet Title
**PLAYGROUND
PARTIAL PLAN &
ELEVATIONS**

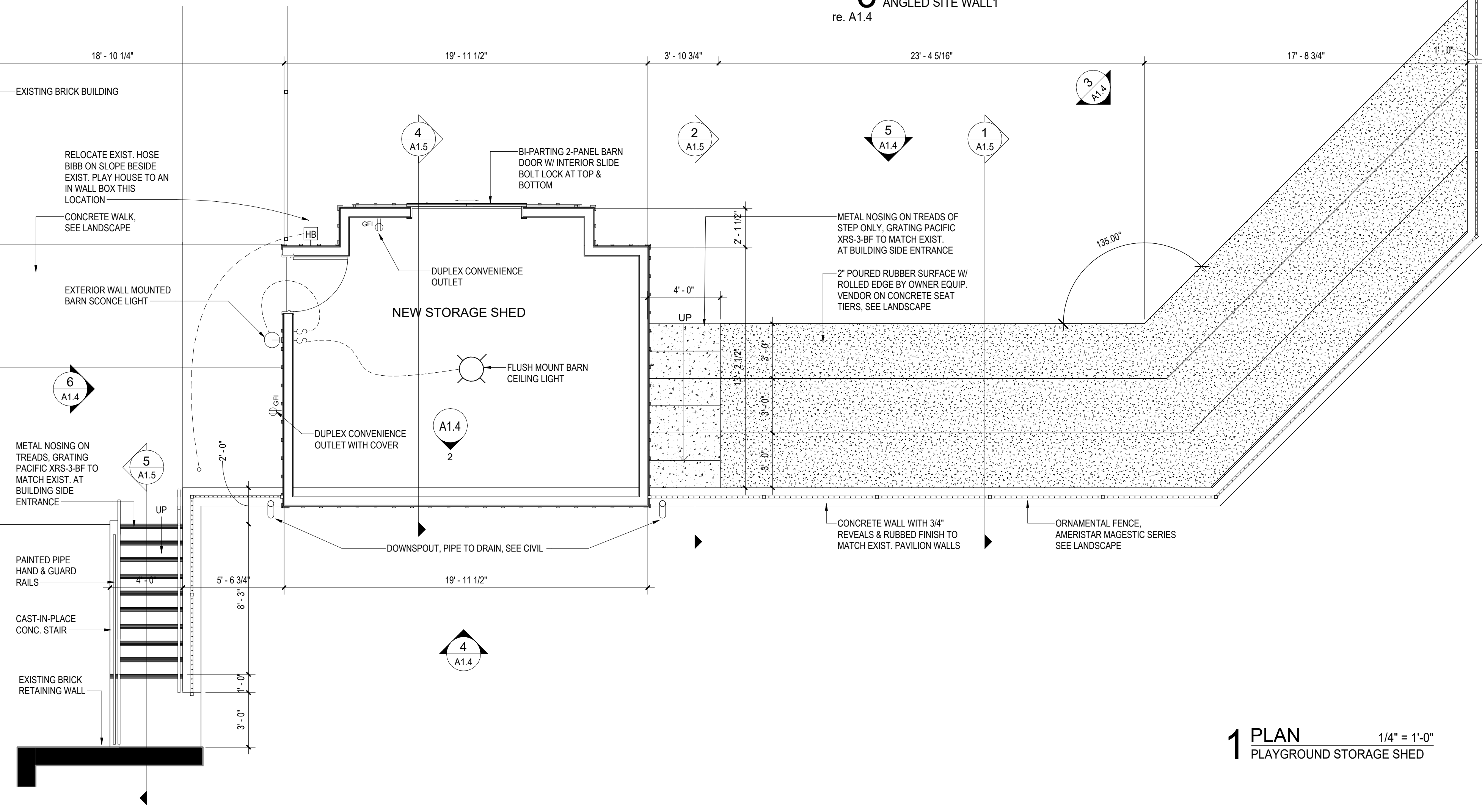
Issue Date	Sheet No.
4/19/24	A1.4



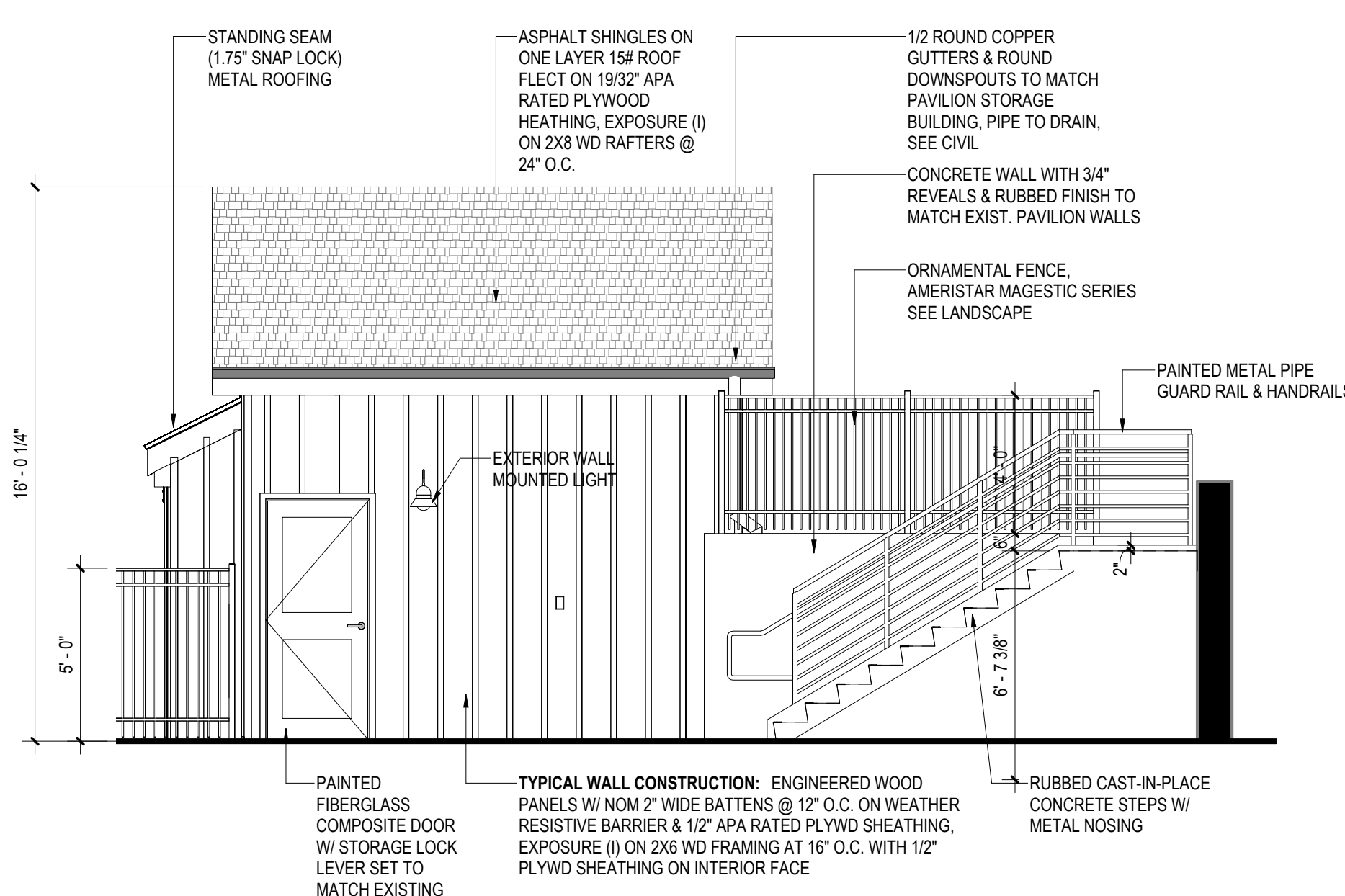
5 ELEVATION 1/4" = 1'-0"
re. A1.4
STORAGE SHED FRONT



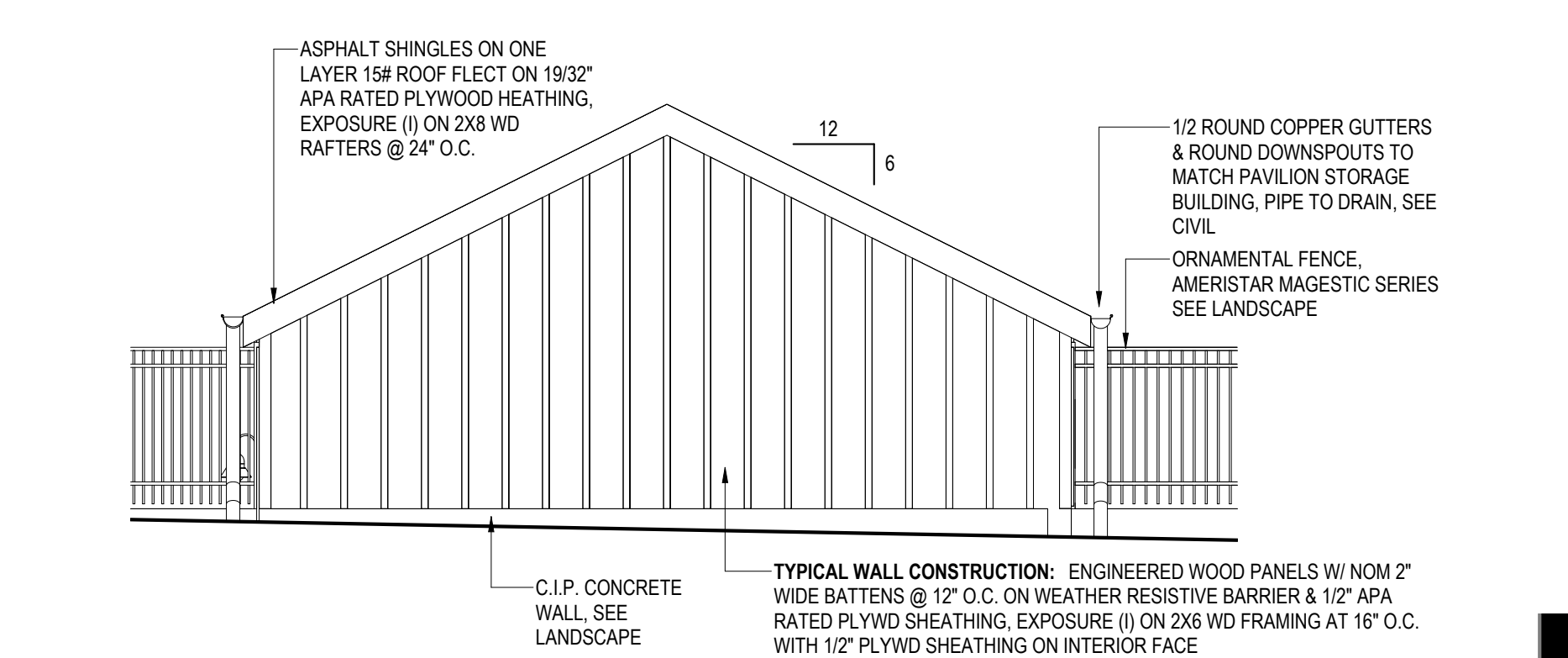
3 ELEVATION 1/4" = 1'-0"
re. A1.4
ANGLED SITE WALL 1



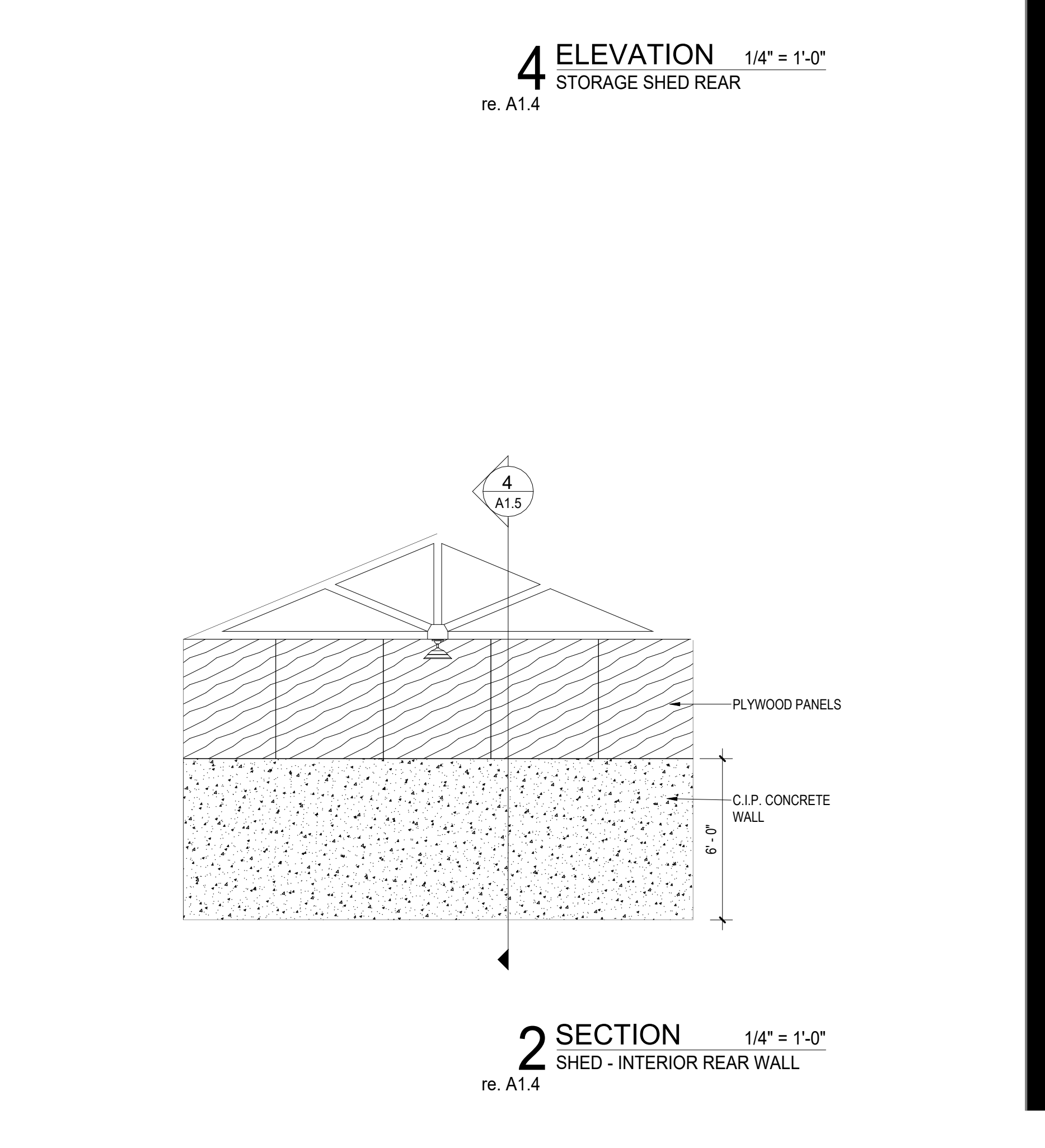
1 PLAN 1/4" = 1'-0"
PLAYGROUND STORAGE SHED



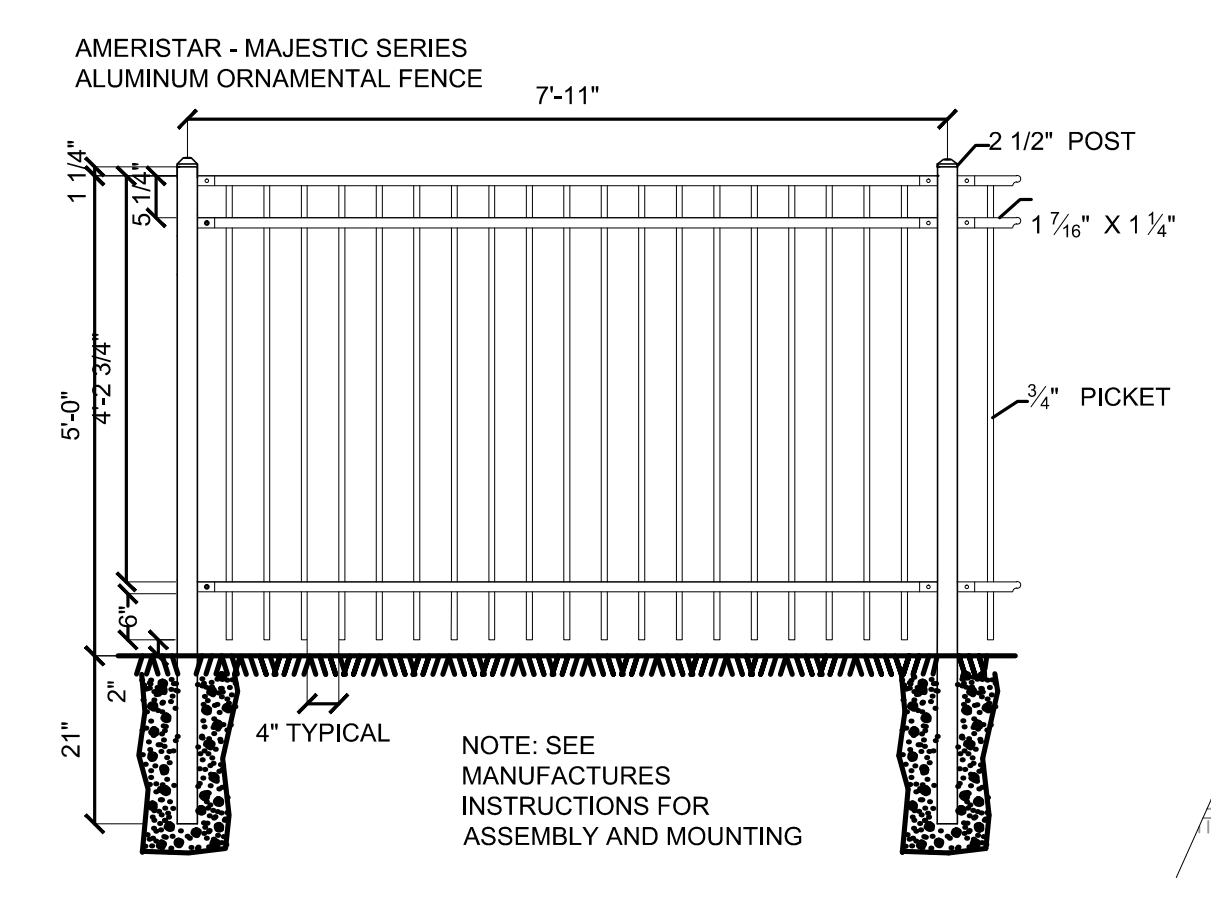
6 ELEVATION 1/4" = 1'-0"
re. A1.4
STORAGE SHED SIDE



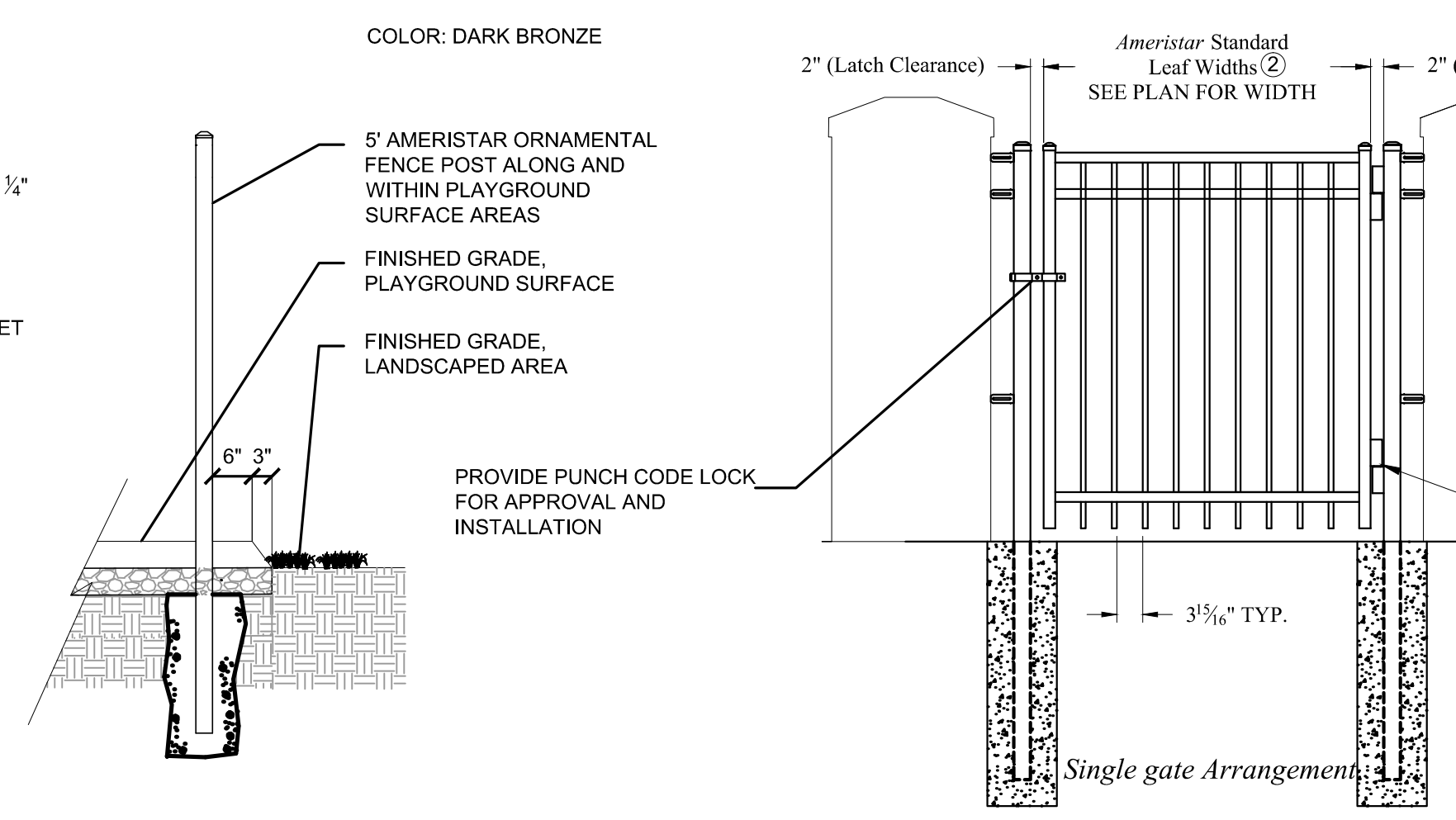
4 ELEVATION 1/4" = 1'-0"
re. A1.4
STORAGE SHED REAR



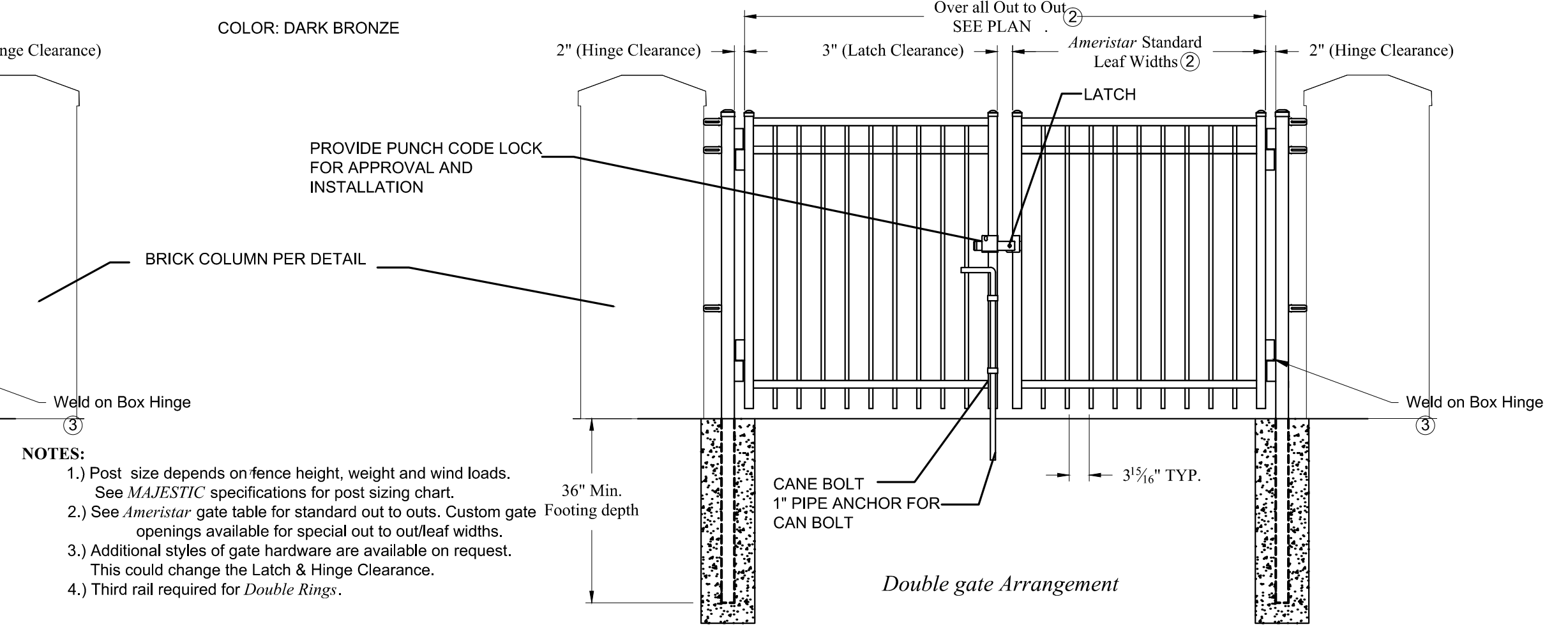
2 SECTION 1/4" = 1'-0"
re. A1.4
SHED - INTERIOR REAR WALL



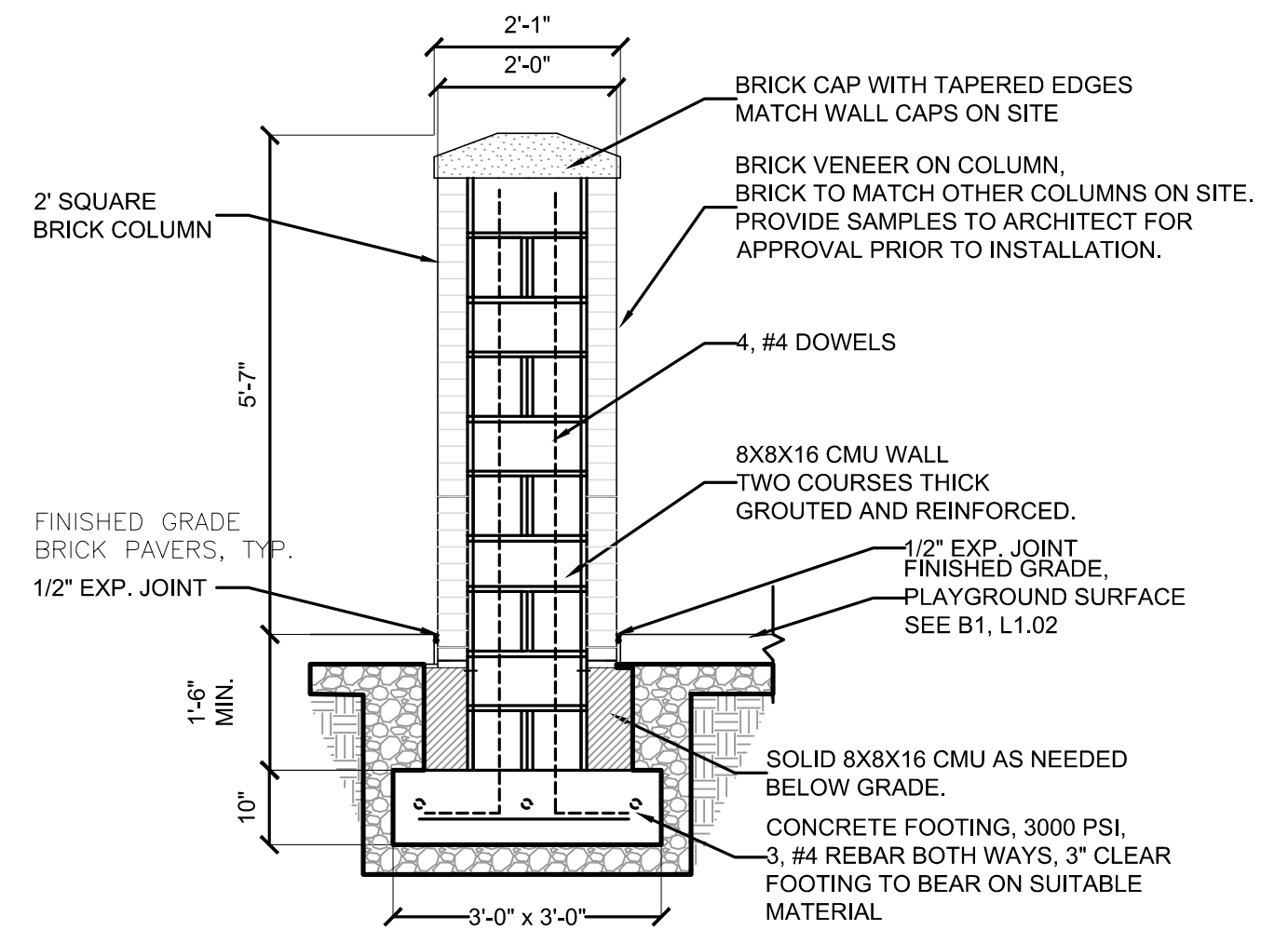
1 ALUMINUM FENCING
L-4



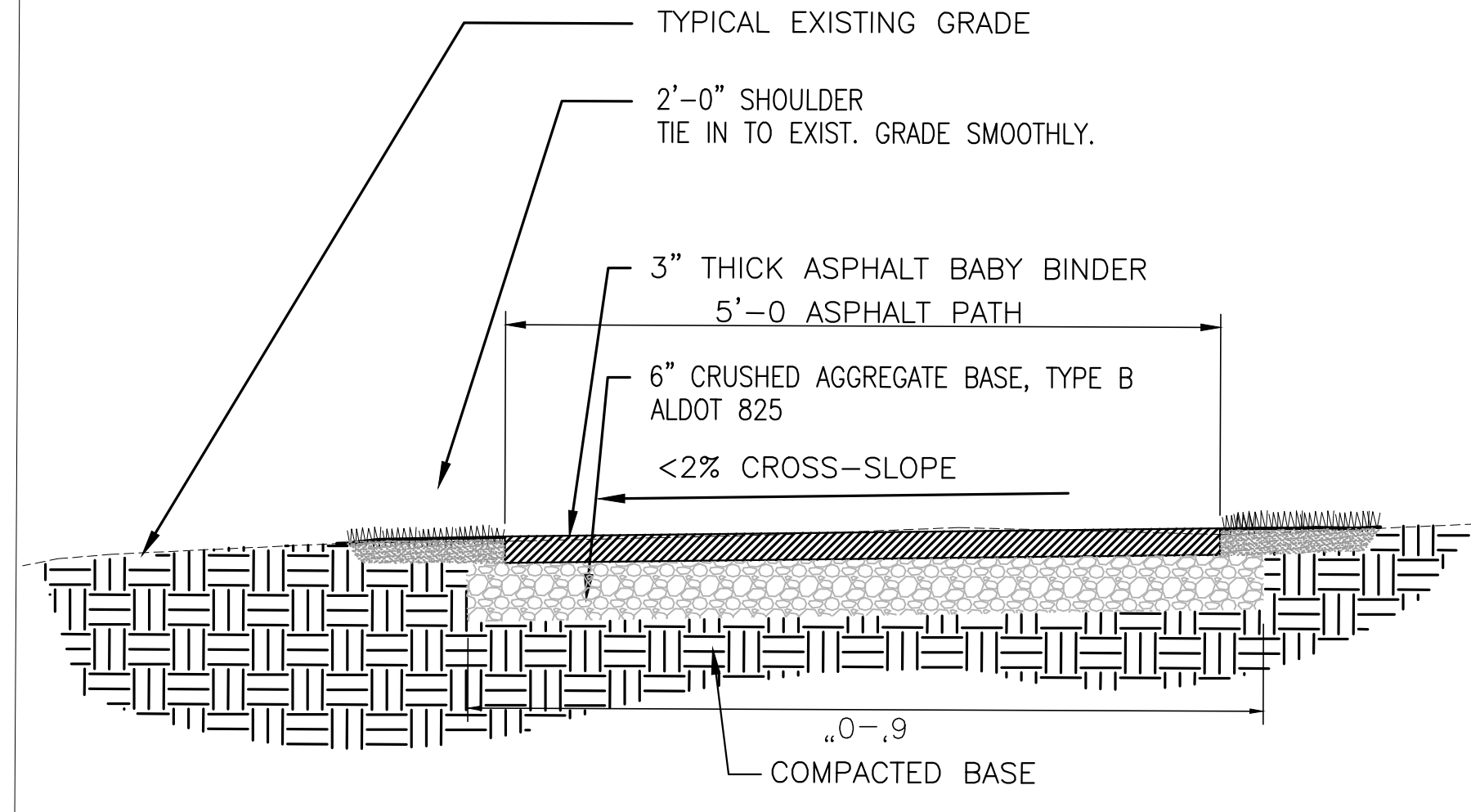
2 SINGLE GATE
L-4



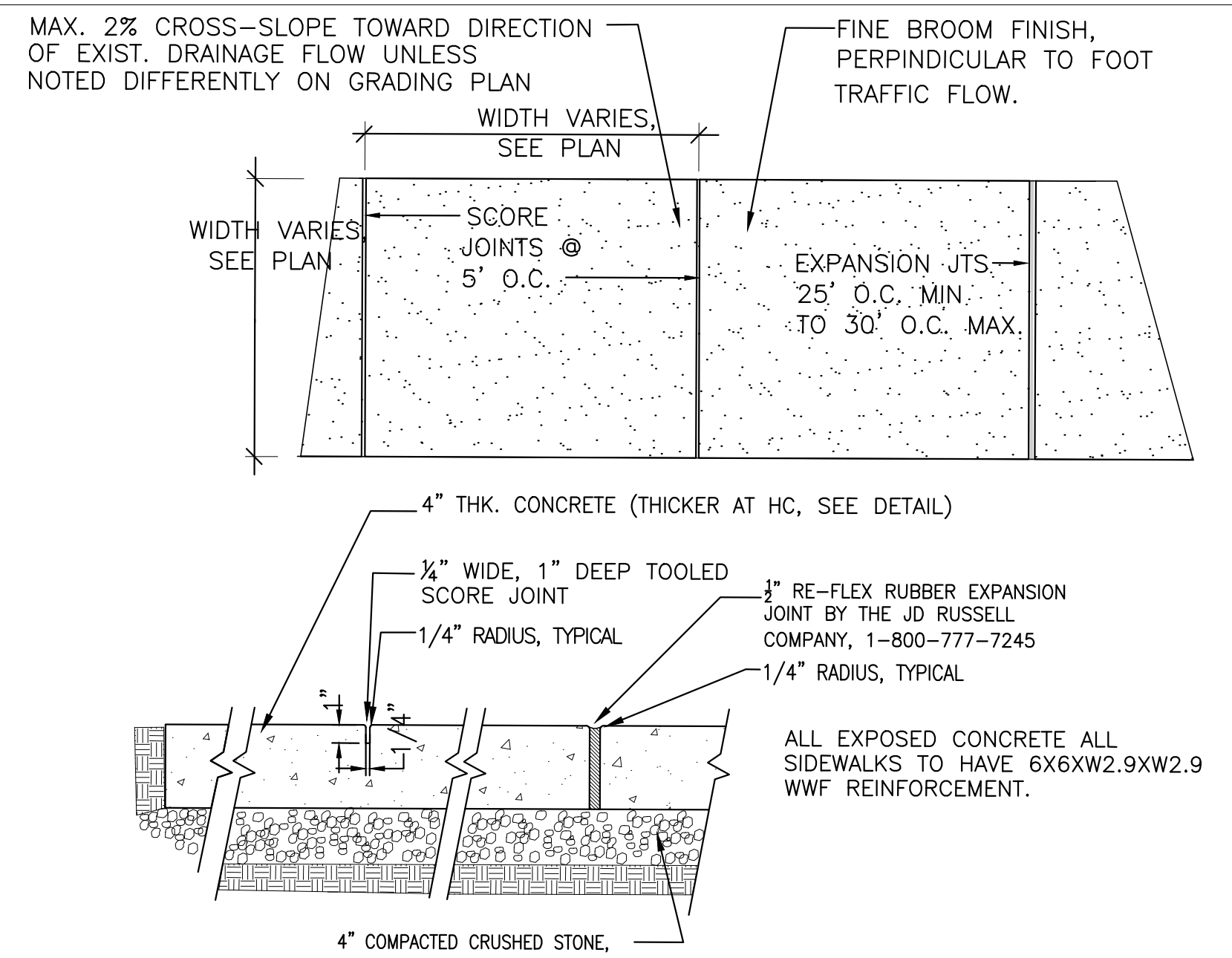
3 DOUBLE GATE
L-4



4 BRICK COLUMN
L-4



5 CONCRETE WALL AND STEPS
L-4



6 CONCRETE WALK
L-4

**St. Luke's Episcopal Church
Renovation**
3736 Montrose Rd.
Mountain Brook, AL 35213

Designed	Designer	Project No.
Drawn	Author	2317
Checked	Checker	

No.	Description	Date
2	AS-02 - PLAYGROUND	5/1/24

Sheet Title
DETAILS

Issue Date
4/19/24

Sheet No.
L-4



CONSTRUCTION TRAFFIC

NO CONSTRUCTION TRAFFIC PERMITTED BEYOND THIS POINT

HOUSE OWNED BY CHURCH

TEMPORARY GRAVEL ACCESS

EXISTING PLAYGROUND TO BE RENOVATED

CONSTRUCTION TRAFFIC

ST. LUKE'S EPISCOPAL CHURCH PLAYGROUND RENOVATION

CONSTRUCTION STAGING & ACCESS PLAN